



## **Parks, Recreation and Open Space Commission (PROS)**

REGULAR MEETING  
Tuesday, February 4, 2020 - 10:00 AM  
VETERANS MEMORIAL BUILDING  
1000 Main Street, Cambria, CA 93428

### **AGENDA**

#### **1. OPENING**

- A. CALL TO ORDER
- B. ESTABLISH QUORUM
- C. CHAIR REPORT

#### **2. EX - OFFICIO REPORTS**

- A. Friends of the Fiscalini Ranch Report

#### **3. PUBLIC COMMENT NOT ON THE AGENDA**

Members of the public may now address the Commission on any item of interest within the jurisdiction of the Commission but not on its agenda today. Future agenda items can be suggested at this time. In compliance with the Brown Act, the Commission cannot discuss or act on items not on the agenda. Each speaker has up to three minutes. Speaker slips (available at the entry) should be submitted to the Commission Chairperson.

#### **4. CONSENT AGENDA (Estimated time: 15 Minutes)**

- A. Consideration to Approve the Minutes from the Regular Meeting held on January 7, 2020

#### **5. REGULAR BUSINESS**

- A. Discussion and Consideration of Appointment of Commission Secretary
- B. Discussion Regarding the Design for the Proposed Community Park Restrooms
- C. Discussion Regarding the Cambria Skateboard Park and

Unincorporated San Luis Obispo County Tourism Business  
Improvement District (TBID) Tourism Infrastructure/Beautification  
Guidelines and Application

**6. FUTURE AGENDA ITEMS**

**7. ADJOURN**



**Parks, Recreation and Open Space Commission  
(PROS)**

REGULAR MEETING  
Tuesday, January 7, 2020 - 10:00 AM

**MINUTES**

**1. OPENING**

**A. CALL TO ORDER**

Chairman Kniffen called the meeting to order at 10:00 a.m.

**B. ESTABLISH QUORUM**

A quorum was established.

Present – Commissioners Johansson, Atencio, Kniffen, Cooper, Renshaw, Bahringer and Lord.

**C. CHAIR REPORT**

There was no Chair Report.

**2. EX - OFFICIO REPORTS**

**A. Friends of the Fiscalini Ranch Report**

FFRP: New Director kitty Connolly. The PROS Commission voted to accept her.

**3. PUBLIC COMMENT NOT ON THE AGENDA**

Public Comment:  
None.

**4. CONSENT AGENDA (Estimated time: 15 Minutes)**

**A. Consideration to Approve the Minutes from the Regular Meeting held on December 3, 2019**

Joyce Renshaw moved to approve the December 3, 2019 meeting minutes.

Teri Lord second the motion.

All approved.

## **5. REGULAR BUSINESS**

### **A. Discussion and Consideration of Goals and Objectives for 2020**

The PROS Commission discussed the goals and objectives for 2020 and would like to revise goal # 3 to read:

3. Work to understand and identify lots that may benefit the vision of the PROS Committee and their potential to be purchased or retired.

The PROS Commission added # 5:

5. Work to secure funding outside the regular CCSD funding sources.

### **B. Discussion Regarding the Cambria Skateboard Park**

There is very little interest expressed by the public in regards to maintaining the skate park. Will work with Carlos in obtaining proper permitting in moving forward.

### **C. Discussion Regarding Unincorporated San Luis Obispo County Tourism Business Improvement District (CBID) Tourism Infrastructure/Beautification Guidelines and Application**

The PROS Commission discussed seeking a grant from the CBID to assist in the design of the bathrooms on East Ranch. Jim Bahringer will look into it.

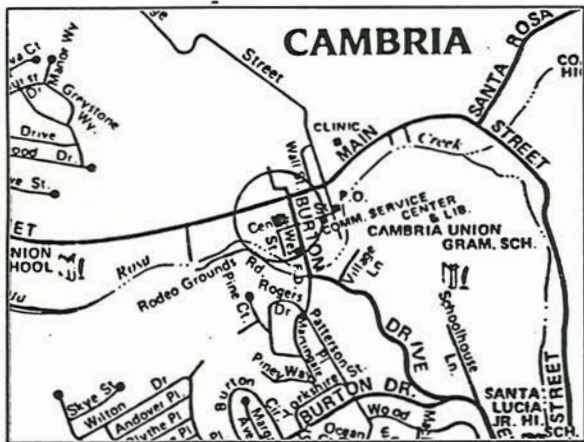
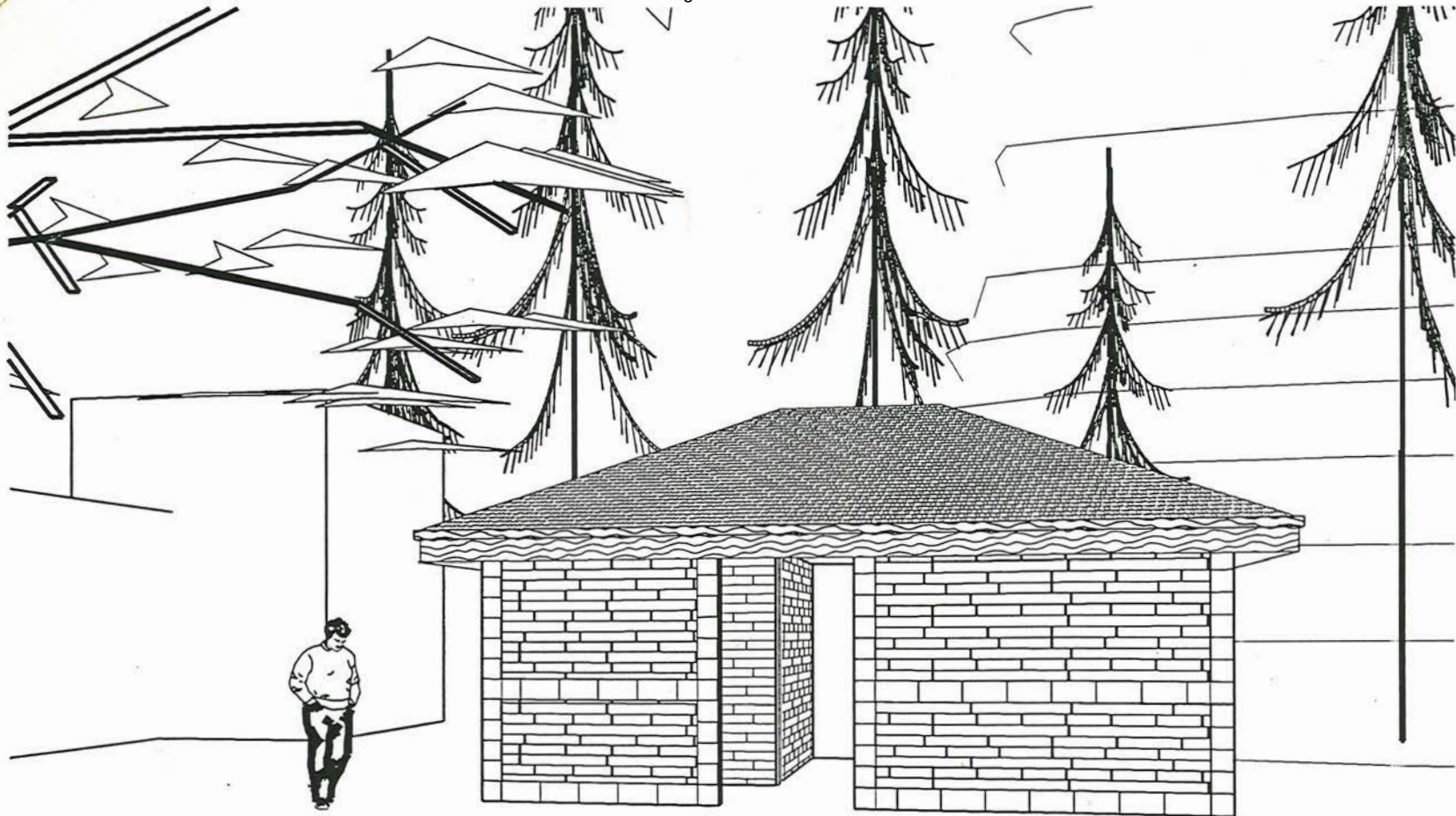
### **D. Discussion to Create a Not-for-Profit Foundation to Support the Recreation and Community Services District's Facilities, Programs, and Services**

The PROS Commission discussed the idea of forming a community foundation to care for things within the jurisdiction of the CCSD that we don't want to use tax dollars to finance. There seemed to be consensus that the PROS would be a logical entity to begin initiation: skate park, the Ranch, East Park, the bathrooms, open space, the Vet's Hall. These are all projects that need continual financing that could be addressed if there were to be a foundation that were to umbrella all of these. No action taken.

## **6. FUTURE AGENDA ITEMS**

## **7. ADJOURN**

Chair Commissioner Kniffen adjourned the meeting at 11:07 a.m.



VICINITY MAP



# COVER SHEET

NO SCALE

## INDEX:

1. COVER SHEET
2. SITE PLAN
3. FLOOR PLAN
4. FOUNDATION PLAN
5. ROOF FRAMING PLAN
6. ELEVATIONS
7. SECTION A
8. PLUMBING PLAN
9. ELECTRICAL PLAN
- D-1 DETAILS
16. HANDICAP REQUIREMENTS

REVISIONS	BY

EXPOSED REVISIONS FOR:  
**EAST VILLAGE**  
 CAMBRIA CHAMBER OF COMMERCE  
 CENTER & WEST STREET  
 COVER SHEET

**gary michael swauger architect**  
 and associates  
 2480 main suite o  
 cambria california 93007-0047

DRAWN J.P. CHECKED G.M.S. DATE DECEMBER 1993 SCALE NO SCALE JOB NO. 93256.01 SHEET 1 OF 24 SHEETS
---



MENTAL  
HEALTH  
SERVICES

COORDINATE ACTUAL  
BUILDING LOCATION  
WITH CCSD



MATCH ELEVATION WITH  
PROPOSED FINISH GRADE  
AS DETERMINED BY  
COUNTY ENGINEERING

**SOIL EXPANSION INDEX:**  
AFTER THE BUILDING PAD ELEVATION  
IS GRADED, THE CONTRACTOR SHALL  
COORDINATE WITH A SOILS ENGINEER  
TO DETERMINE THE SOILS EXPANSION  
INDEX. THE SOILS ENGINEER SHALL  
PROVIDE THE ARCHITECT WITH THE  
SOILS EXPANSION INDEX. THE ARCHITECT  
SHALL DETERMINE IF ANY FOUNDATION  
MODIFICATIONS ARE NECESSARY AND  
NOTIFY THE CONTRACTOR.

WALL  
CHEVRON  
GAS STATION

ALLEY

ALLEY

PROPOSED  
EAST VILLAGE  
RESTROOMS  
ENTRANCE

COUNTY OWNED  
PARKING LOT  
(CREDROCK)

CENTER STREET



**SITE PLAN**

SCALE: 1"=20'

© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

NO.	REVISIONS	BY
1	SCOPED REVISION	JM

NOT TO SCALE  
FOR INFORMATION ONLY  
THIS PLAN IS A PRELIMINARY  
DESIGN AND IS SUBJECT TO  
CHANGE WITHOUT NOTICE  
THE CONTRACTOR SHALL  
VERIFY ALL DIMENSIONS  
AND CONDITIONS ON SITE  
BEFORE CONSTRUCTION  
BEGINNING

PROPOSED RESTROOMS FOR:

**EAST VILLAGE**

CAMBRIA CHAMBER OF COMMERCE  
CENTER & WEST STREETS

**gary michael swauger architect**  
and associates

2460 main suite 6 cambria ocalifornia 935 927-9967

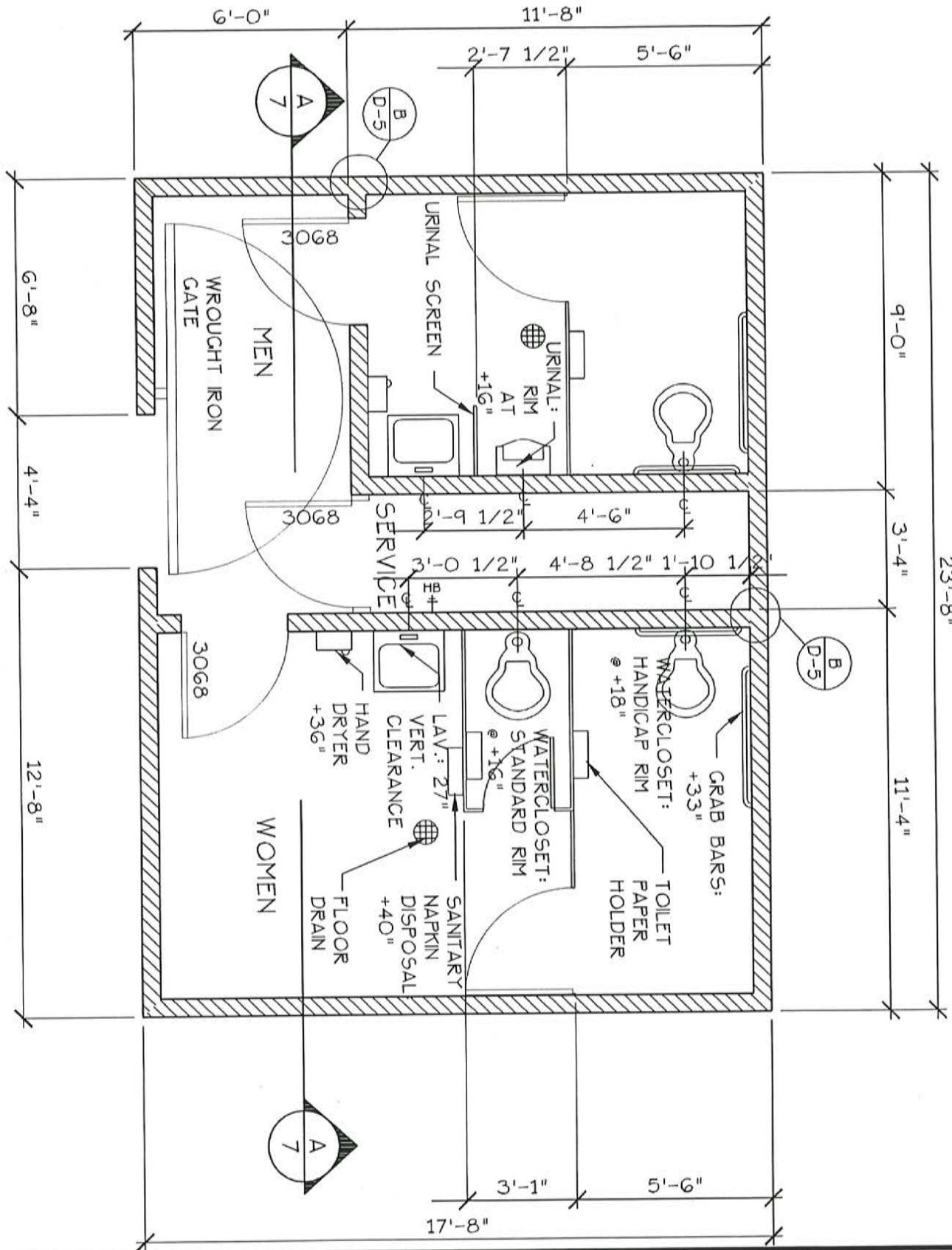
DATE	BY	NO.
DECEMBER 1993	JM	1
1/8"=1'-0"		
93256.01		
		<b>2</b>

OF 24 SHEETS



# FLOOR PLAN

1/4"=1'-0"



© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

DATE	BY
DEC 15 1993	G.M.S.
1/4"=1'-0"	
93256.01	
3	
OF 24 SHEETS	

PROPOSED RESTROOMS FOR:

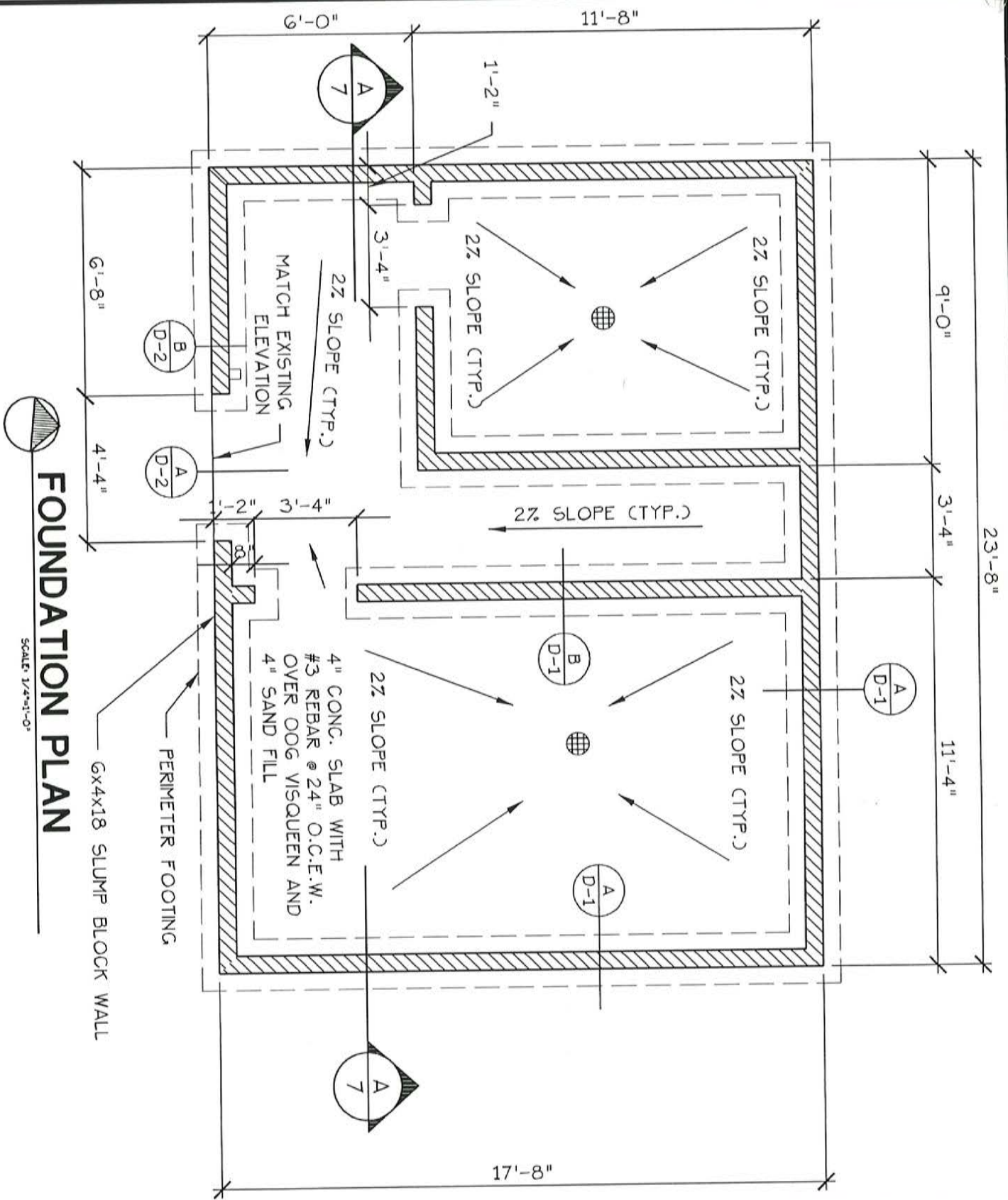
## EAST VILLAGE

CAMBRIA CHAMBER OF COMMERCE CENTER & WEST STREET

**gary michael swauger architect**  
and associates

2460 main suite 0 cambridge oasifornia 800 927-3667

REVISIONS	BY



# FOUNDATION PLAN

SCALE: 1/4"=1'-0"

PERIMETER FOOTING  
6x4x18 SLUMP BLOCK WALL

4" CONC. SLAB WITH  
#3 REBAR @ 24" O.C.E.W.  
OVER 4" SAND FILL

MATCH ELEVATION


© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

DATE	1/4"=1'-0"
BY	J.P.
CHKD	G.M.S.
DATE	DECEMBER 1993
PROJECT	93256.01
SHEET	4
TOTAL SHEETS	24

PROPOSED RESTROOMS FOR:

## EAST VILLAGE

CAMBRIA CHAMBER OF COMMERCE  
CENTER & WEST STREET



**gary michael swauger architect**  
and associates

2460 main suite 0 cambria california 900 927-3097

REVISIONS	BY

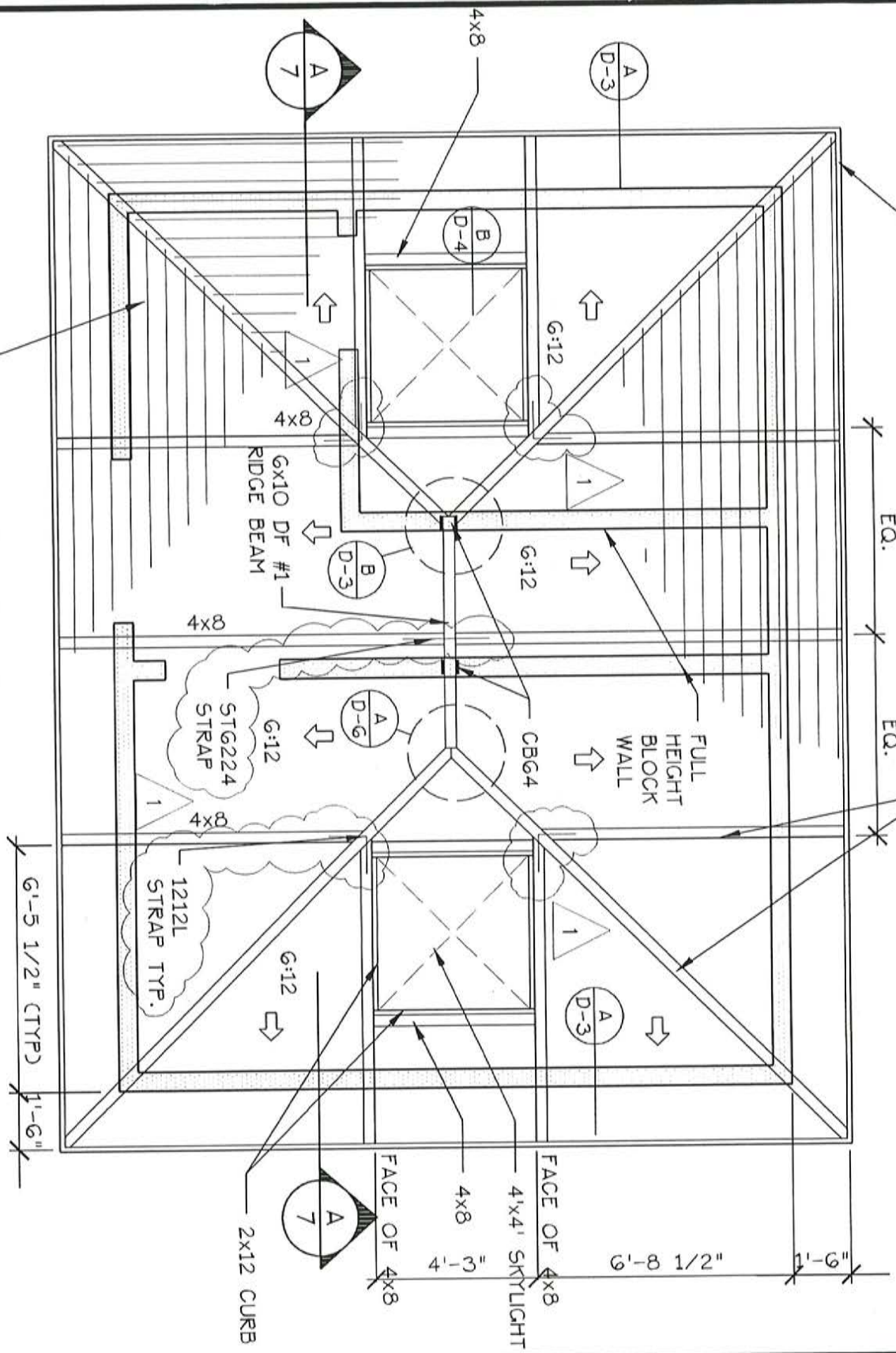




**ROOF FRAMING PLAN**

2X6 FIR T&G WITH 2-16D  
EACH RAFTER

SCALE: 1/4"=1'-0"



2X10 HEM FIR FASCIA WITH  
1X4 HEM FIR SHINGLE STRIP  
4X8 DF #2 RAFTERS

EQ. EQ.

© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

DATE	1/4"=1'-0"
BY	J.P.
CHECKED	G.M.S.
DATE	DECEMBER 1993
PROJECT	93256.01
SHEET	5
TOTAL SHEETS	24

PROPOSED RESTROOMS FOR:

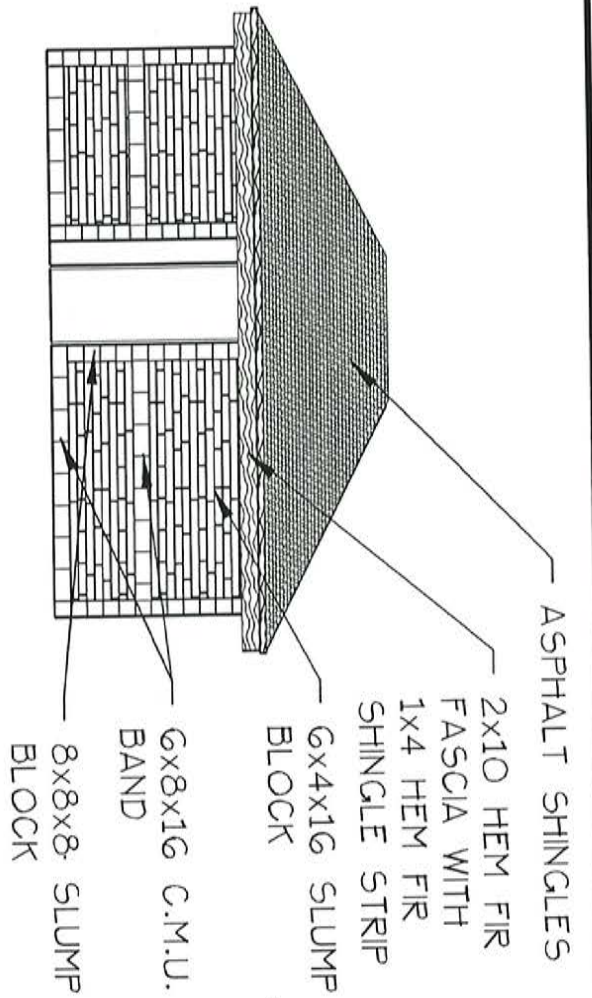
**EAST VILLAGE**

CAMBRIA CHAMBER OF COMMERCE  
CENTER & WEST STREET

**gary michael swauger architect**  
and associates

2460 main suite o cambria california 938 927-3087

NO.	REVISIONS	BY
1	ISSUED REVISION	J.P.
2		
3		

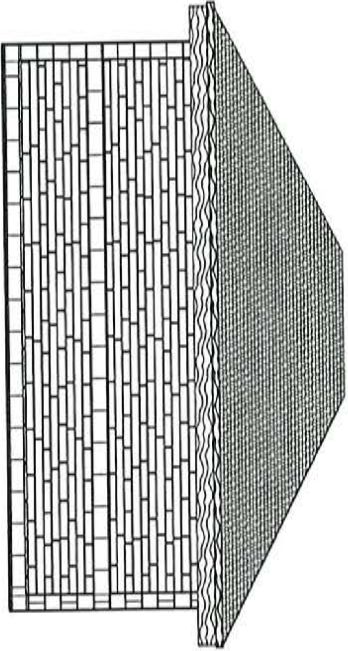


**FRONT ELEVATION**

1/8"=1'-0"

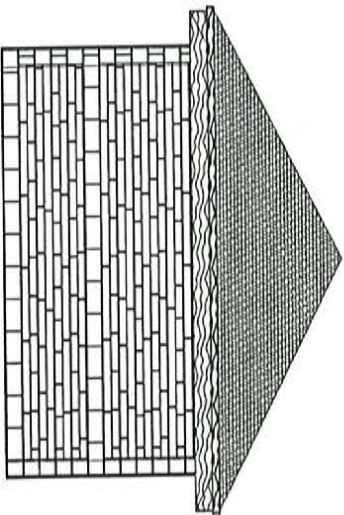
**RIGHT ELEVATION**

1/8"=1'-0"



**REAR ELEVATION**

1/8"=1'-0"



**LEFT ELEVATION**

1/8"=1'-0"

© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

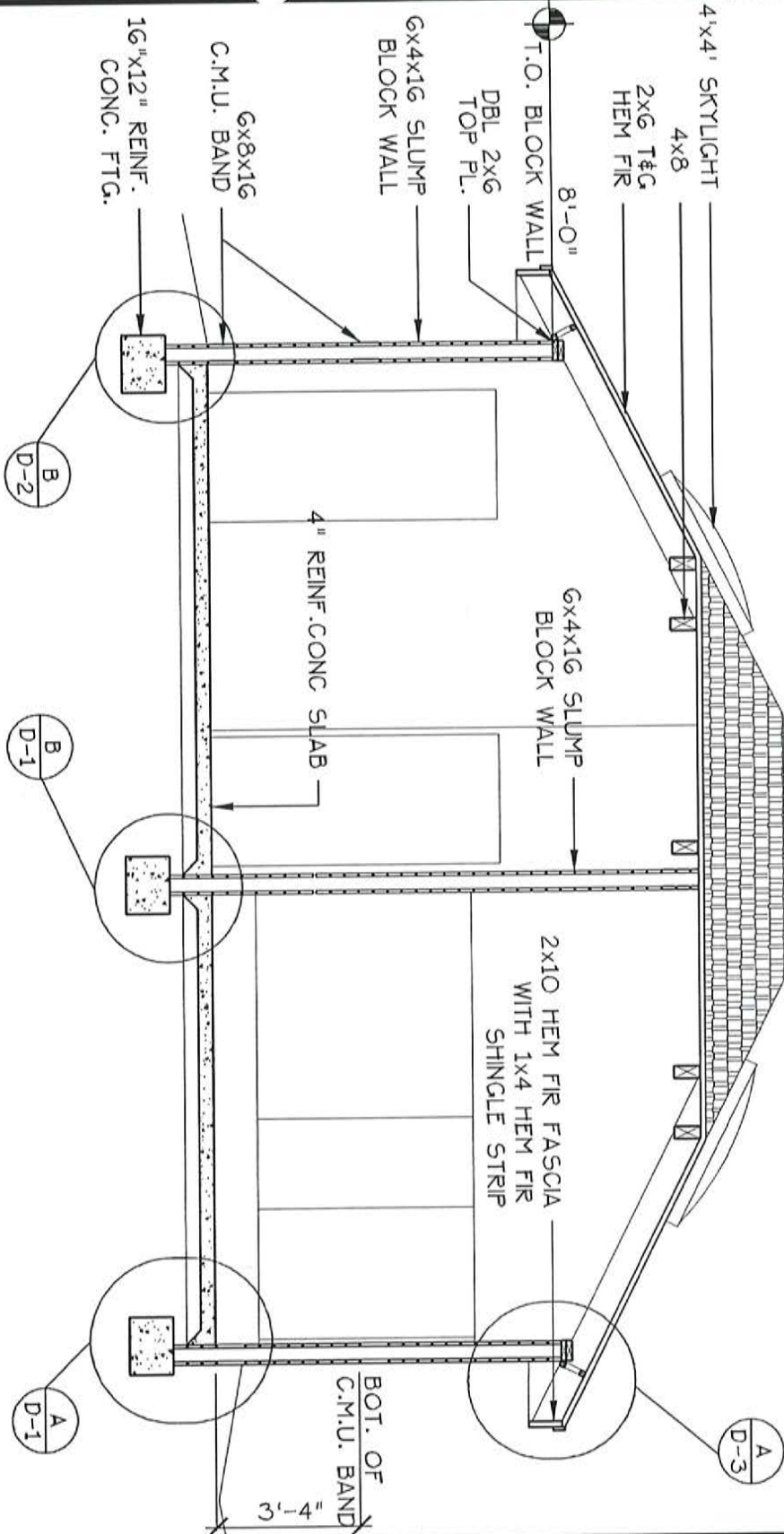
DATE	1/8/93
BY	G.M.S.
SCALE	1/8"=1'-0"
PROJECT	93256.01
SHEET	6
TOTAL SHEETS	24

PROPOSED RESTROOMS FOR:  
**EAST VILLAGE**  
 CAMBRIA CHAMBER OF COMMERCE  
 CENTER & WEST STREET

**gary michael swauger architect**  
 and associates  
 2460 main suite o oomblia california 606 997-3087

REVISIONS	BY





**SECTION A**

SCALE: 1/4"=1'-0"

© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

DATE	1/7
BY	J.F.
PROJECT	East Village
DATE	12/15
BY	G.M.S.
PROJECT	DECEMBER 1993
DATE	1/4
BY	1/4
PROJECT	9320201
DATE	7
BY	7
PROJECT	24
DATE	7
BY	7
PROJECT	7

PROPOSED RESTROOMS FOR:

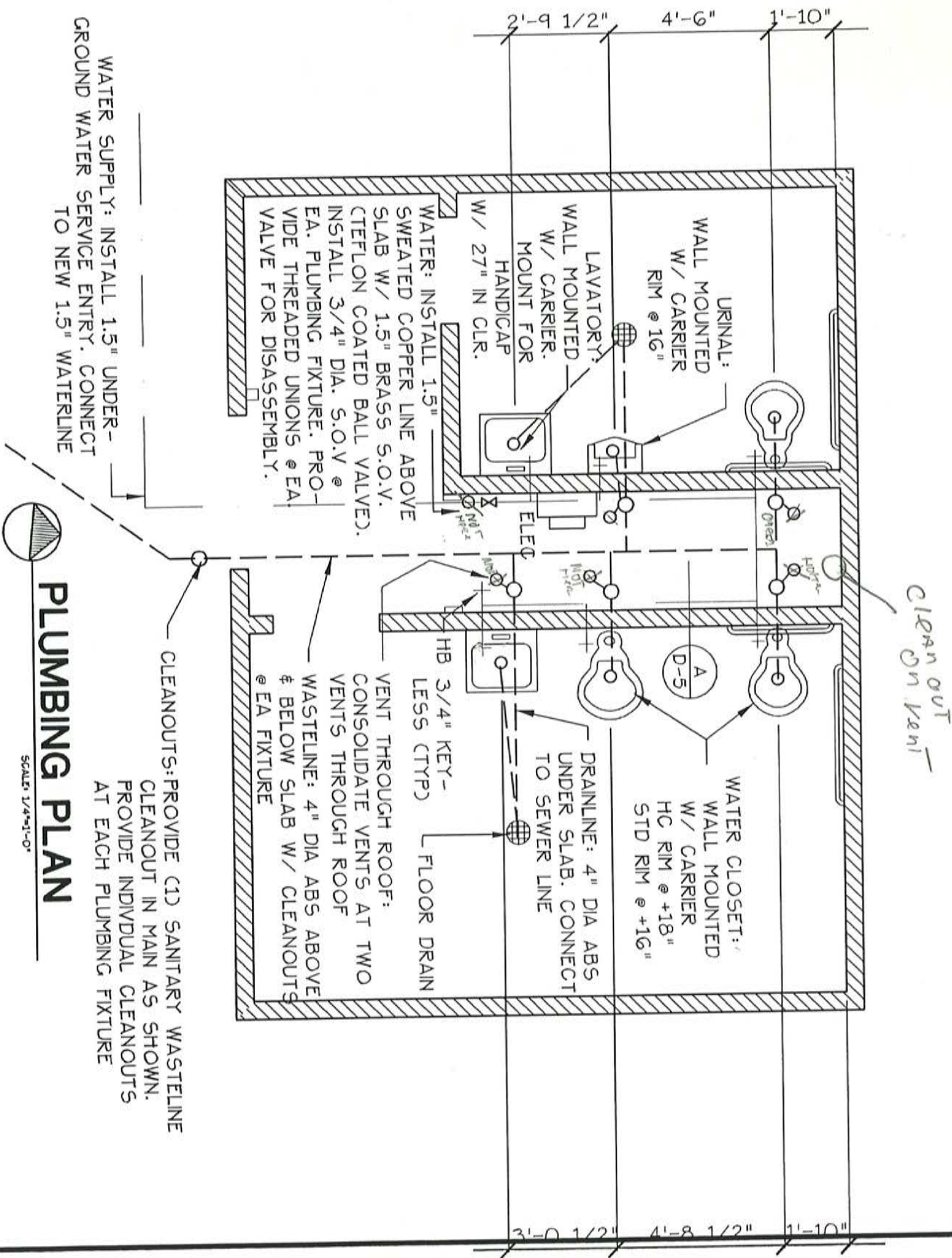
**EAST VILLAGE**

CAMBRIA CHAMBER OF COMMERCE  
CENTER & WEST STREET

gary michael swauger architect  
and associates

2450 main suite c cambria california 905 927-9957

REVISIONS	BY



WATER SUPPLY: INSTALL 1.5" UNDER-GROUND WATER SERVICE ENTRY. CONNECT TO NEW 1.5" WATERLINE

# PLUMBING PLAN

SCALE: 1/4"=1'-0"

CLEANOUTS: PROVIDE (1) SANITARY WASTELINE CLEANOUT IN MAIN AS SHOWN. PROVIDE INDIVIDUAL CLEANOUTS AT EACH PLUMBING FIXTURE


© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

DATE	J.P.
BY	C.M.S.
DECEMBER 1993	
1/4"=1'-0"	
9325G.01	
8	
SHEETS	

PROPOSED RESTROOMS FOR:

## EAST VILLAGE

CAMBRIA CHAMBER OF COMMERCE CENTER & WEST STREET



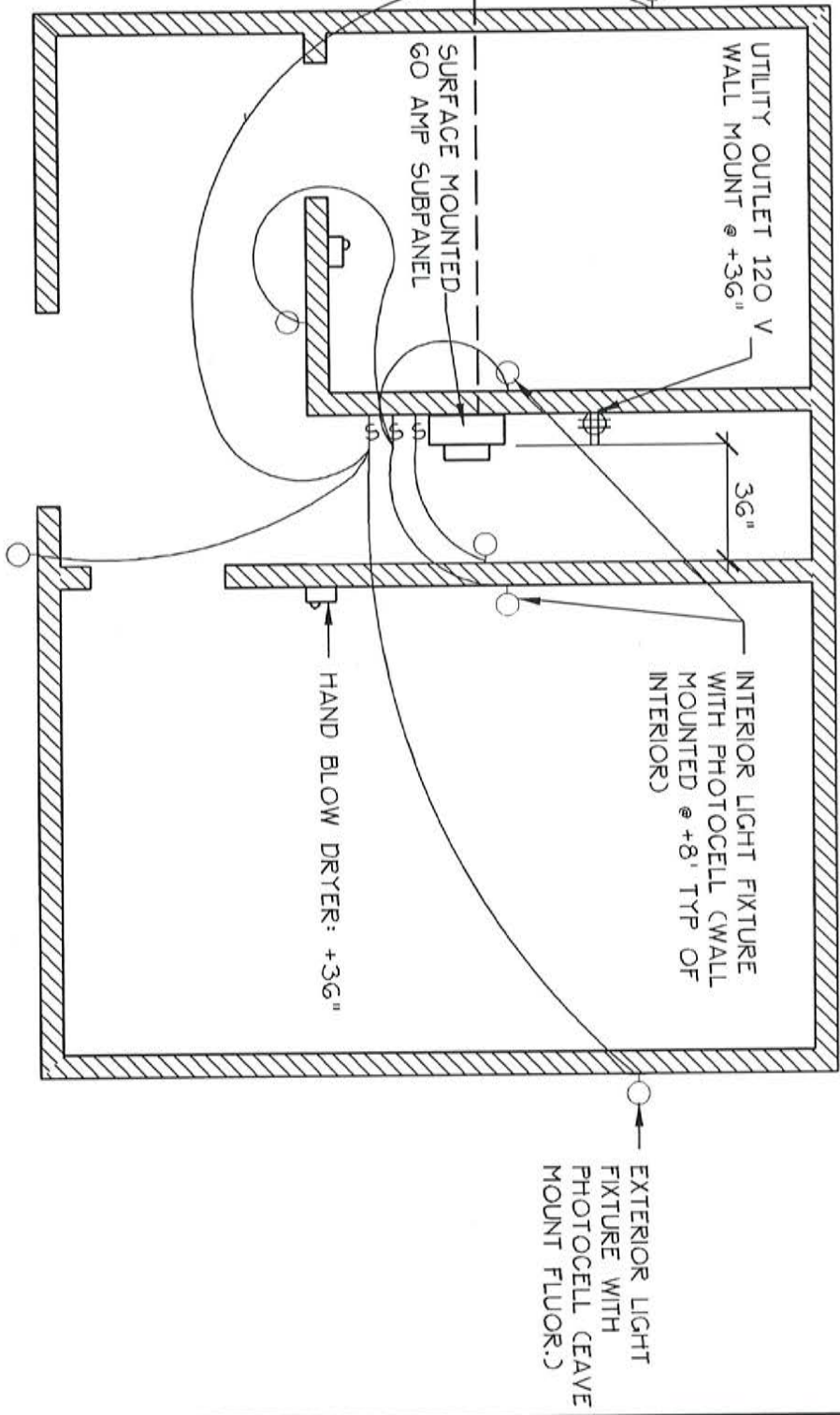
**gary michael swauger architect and associates**

2460 mah suite 0 cambria california 805 927-3067

REVISIONS	BY



ELECTRICAL SERVICE:  
INSTALL UNDERGROUND SERVICE TO  
RESTROOM.



# ELECTRICAL PLAN

SCALE: 1/4"=1'-0"

**NOTE:**

ALL EXTERIOR LIGHTS TO BE ON ONE SWITCH WITH PHOTOCELL  
ALL INTERIOR LIGHTS ON A SECOND SWITCH WITH PHOTOCELL  
ALL WIRING SHALL BE INSTALLED IN GALVANIZED EMT CONDUIT

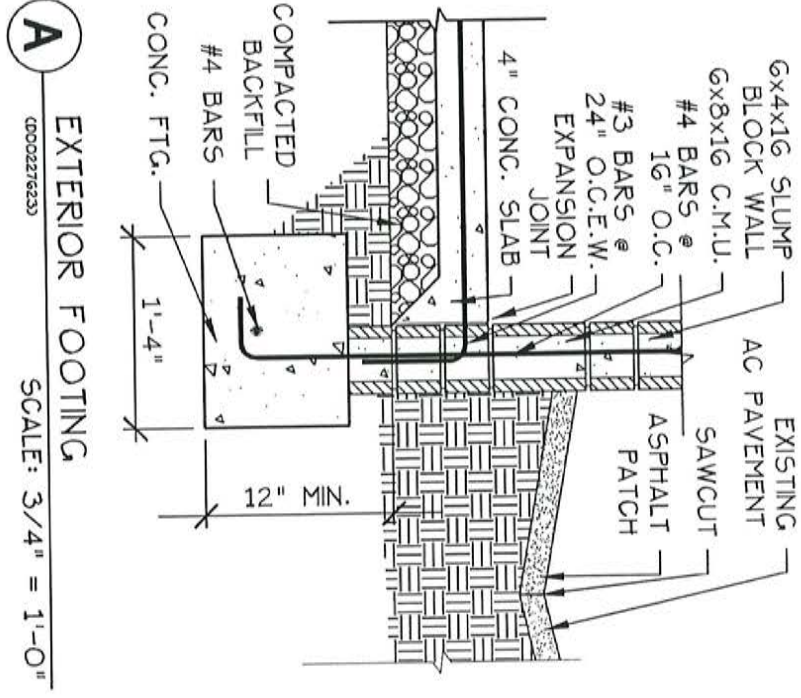
© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

DATE	1/4/93
BY	J.M.S.
PROJECT	DECORATION 1993
SCALE	1/4"=1'-0"
NO.	93226.01
SHEET	9
OF	24
SHEETS	

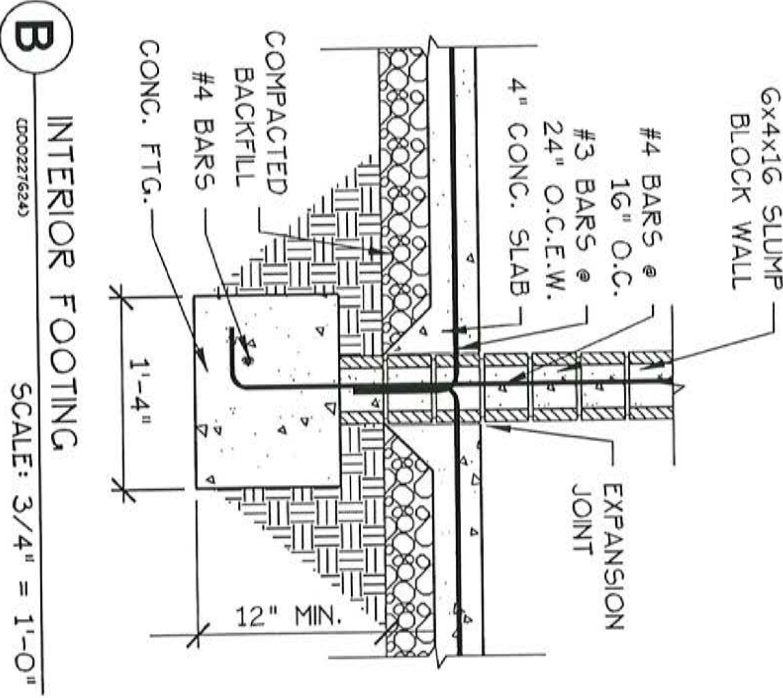
PROPOSED RESTROOMS FOR:  
**EAST VILLAGE**  
 CAMBRIA CHAMBER OF COMMERCE  
 CENTER & WEST STREET

**gary michael swauger architect**  
 and associates  
 2480 main suite • cambria california 900 927-3067

REVISIONS	BY



**A** EXTERIOR FOOTING  
 (D0002276233) SCALE: 3/4" = 1'-0"




**B** INTERIOR FOOTING  
 (D0002276243) SCALE: 3/4" = 1'-0"

© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

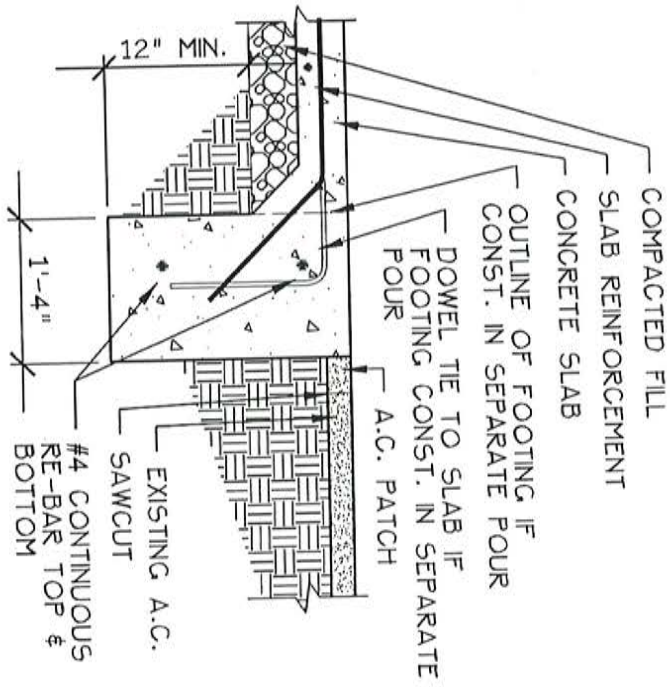
DATE	3/4/93
BY	J.M.S.
SCALE	3/4" = 1'-0"
PROJECT	DECORATIVE RESTROOMS
NO.	93256.01
<b>D-1</b>	
OF 24 SHEETS	

PROPOSED RESTROOMS FOR:  
**EAST VILLAGE**  
 CAMBRIA CHAMBER OF COMMERCE  
 CENTER & WEST STREET

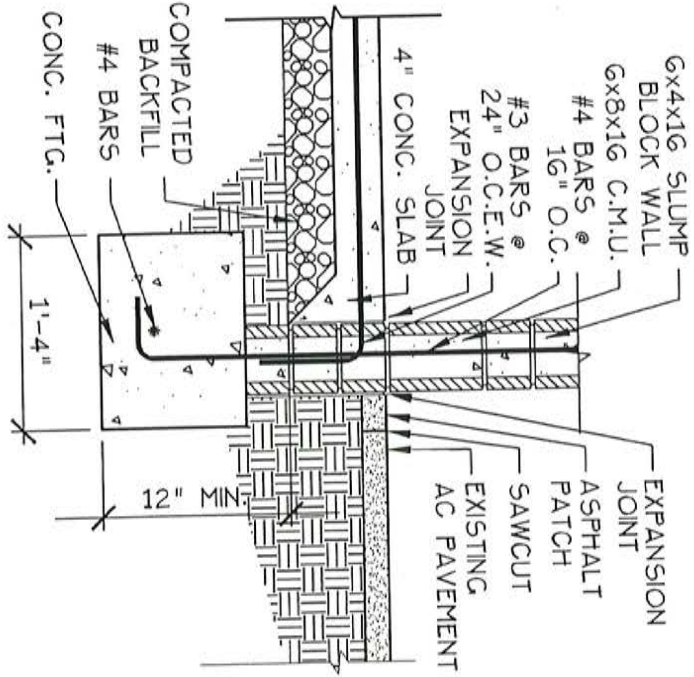


**gary michael swauger architect**  
 and associates  
 2460 main suite o cambria california 925 927-0087

REVISIONS	BY



**A** SLAB TRANSITION  
 CO3000333  
 SCALE: 3/4" = 1'-0"



**B** EXTERIOR FOOTING  
 CO02276253  
 SCALE: 3/4" = 1'-0"

© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

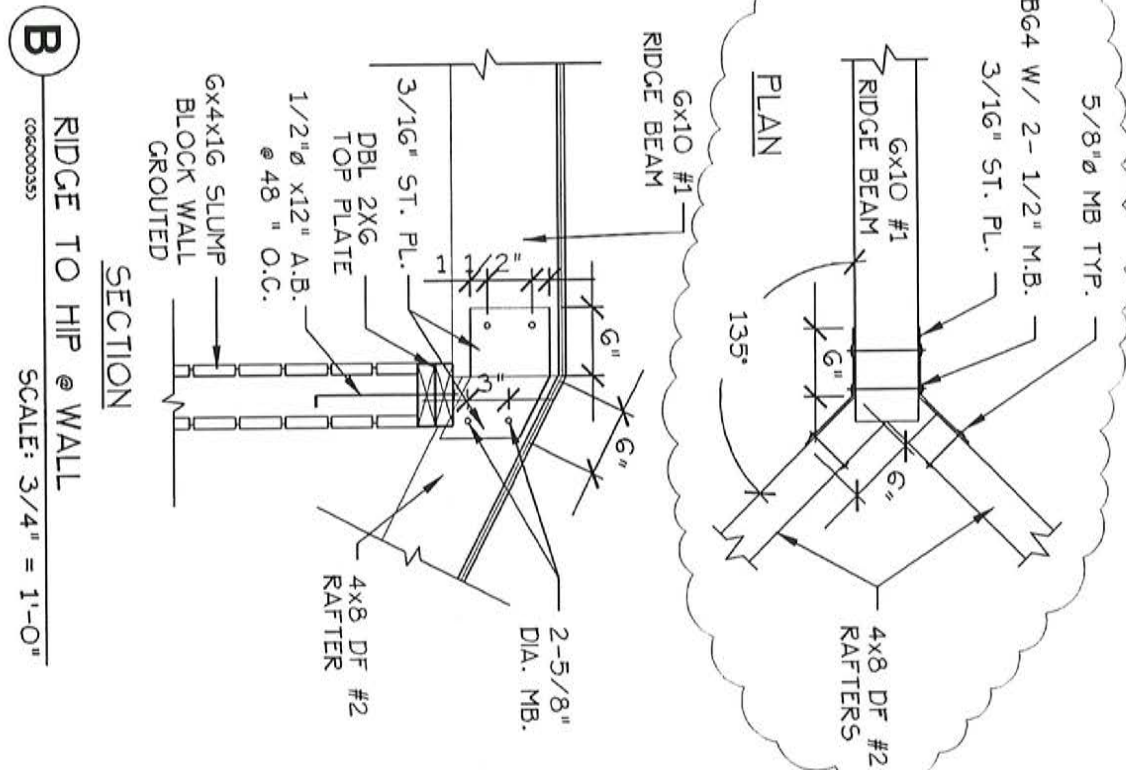
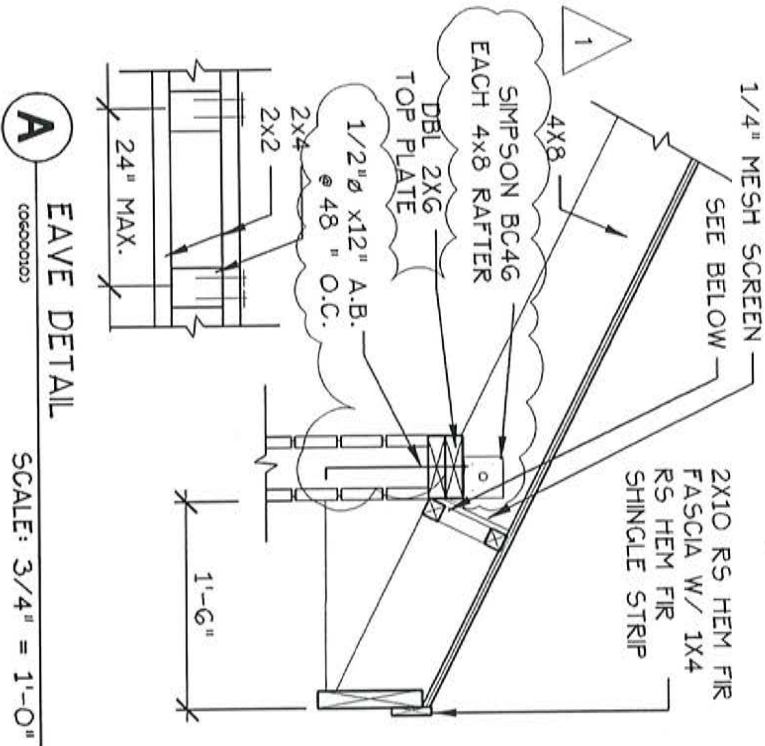
DATE	1/1/93
BY	J.P.
REVISION	04/1/93
DATE	12/1/93
BY	J.P.
REVISION	3/4\"/>

PROPOSED RESTROOMS FOR:  
**EAST VILLAGE**  
 CAMBRIA CHAMBER OF COMMERCE  
 CENTER & WEST STREET

**gary michael swauger architect**  
 and associates  
 2450 main suite 0 cambria california 905 927-0907

REVISIONS	BY





© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

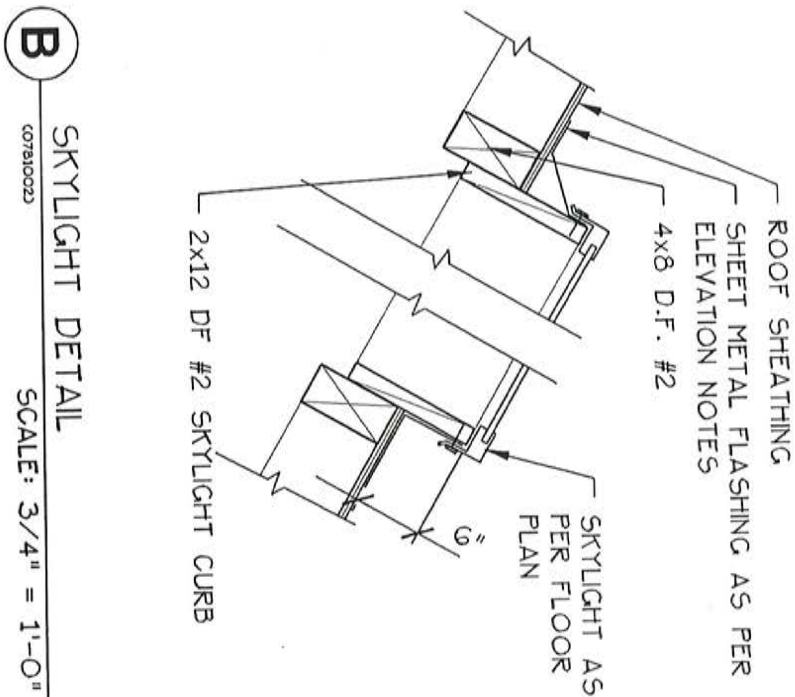
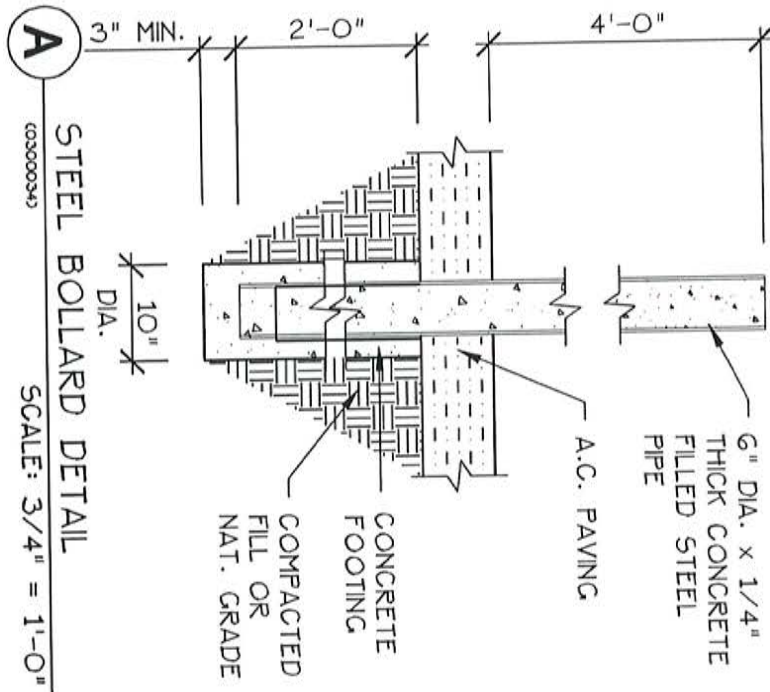
DATE	11/1/93
BY	CS
REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT
6	ISSUED FOR PERMIT
7	ISSUED FOR PERMIT
8	ISSUED FOR PERMIT
9	ISSUED FOR PERMIT
10	ISSUED FOR PERMIT
11	ISSUED FOR PERMIT
12	ISSUED FOR PERMIT
13	ISSUED FOR PERMIT
14	ISSUED FOR PERMIT
15	ISSUED FOR PERMIT
16	ISSUED FOR PERMIT
17	ISSUED FOR PERMIT
18	ISSUED FOR PERMIT
19	ISSUED FOR PERMIT
20	ISSUED FOR PERMIT
21	ISSUED FOR PERMIT
22	ISSUED FOR PERMIT
23	ISSUED FOR PERMIT
24	ISSUED FOR PERMIT

PROPOSED RESTROOMS FOR:  
**EAST VILLAGE**  
 CAMBRIA CHAMBER OF COMMERCE  
 CENTER & WEST STREET

**gms** gary michael swauger architect  
 and associates  
 2480 main suite o cambria california 900 927-3087

REVISIONS	BY
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT
6	ISSUED FOR PERMIT
7	ISSUED FOR PERMIT
8	ISSUED FOR PERMIT
9	ISSUED FOR PERMIT
10	ISSUED FOR PERMIT
11	ISSUED FOR PERMIT
12	ISSUED FOR PERMIT
13	ISSUED FOR PERMIT
14	ISSUED FOR PERMIT
15	ISSUED FOR PERMIT
16	ISSUED FOR PERMIT
17	ISSUED FOR PERMIT
18	ISSUED FOR PERMIT
19	ISSUED FOR PERMIT
20	ISSUED FOR PERMIT
21	ISSUED FOR PERMIT
22	ISSUED FOR PERMIT
23	ISSUED FOR PERMIT
24	ISSUED FOR PERMIT





© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

DATE	1/1/93
BY	J.P.
SCALE	AS SHOWN
PROJECT	C.M.S.
DATE	DECEMBER 1993
SCALE	3/4"=1'-0"
NO. OF SHEETS	43256.01
OF 24 SHEETS	D-4

PROPOSED RESTROOMS FOR:

**EAST VILLAGE**

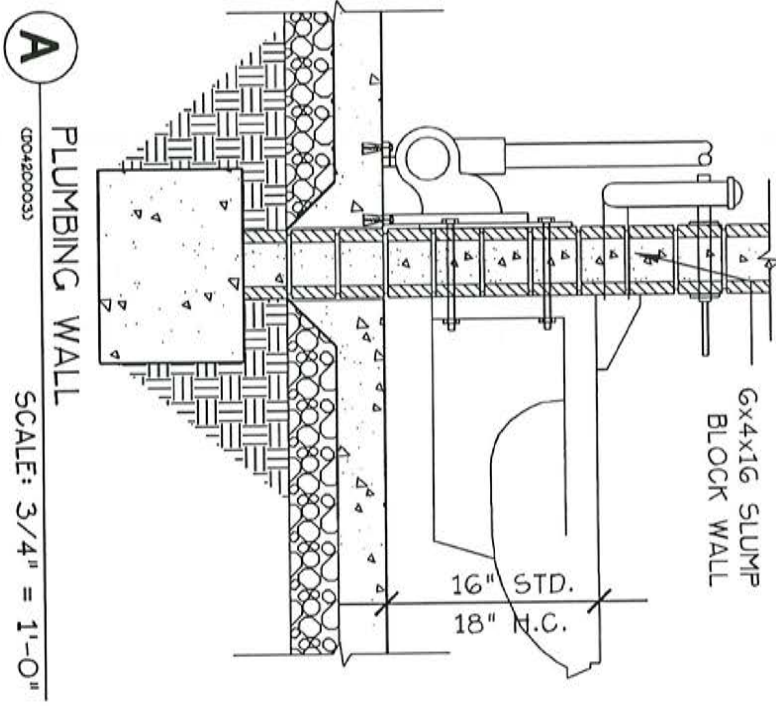
CAMBRIA CHAMBER OF COMMERCE CENTER & WEST STREET



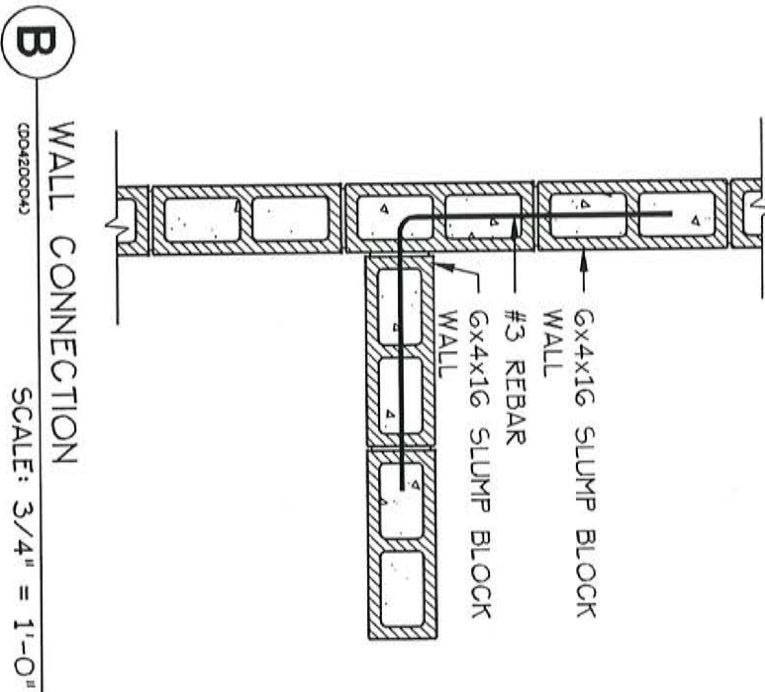
**gary michael swauger architect and associates**

2460 main suite 0 cambridge california 805 927-3067

NO. OF SHEETS	43256.01
OF 24 SHEETS	D-4
DATE	DECEMBER 1993
SCALE	3/4"=1'-0"
PROJECT	C.M.S.
BY	J.P.
DATE	1/1/93



**A**  
 PLUMBING WALL  
 DD04200033  
 SCALE: 3/4" = 1'-0"



**B**  
 WALL CONNECTION  
 DD04200043  
 SCALE: 3/4" = 1'-0"

© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

DATE	1/17
BY	J.P.
CHECKED	G.M.S.
DATE	12/15
DATE	DECEMBER 1993
SCALE	3/4" = 1'-0"
NO.	9325C.01
REV.	
<b>D-5</b>	
OF 24	SHEETS

PROPOSED RESTROOMS FOR:  
**EAST VILLAGE**  
 CAMBRIA CHAMBER OF COMMERCE  
 CENTER & WEST STREET



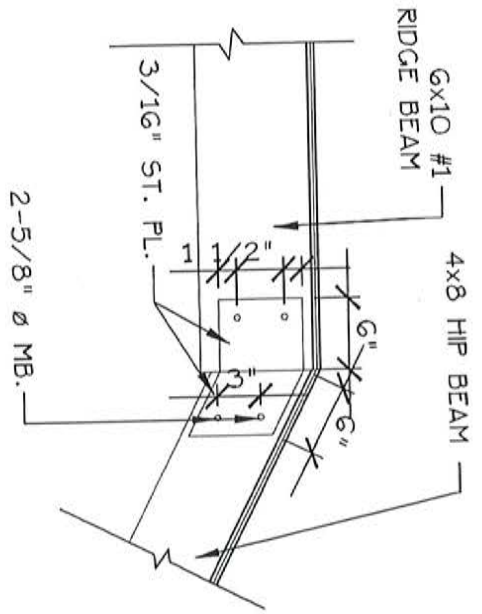
**gary michael swauger architect**  
 and associates  
 2460 main suite o cambria oregon 503 927-3087

REVISIONS	BY

**A**

RIDGE TO HIP @ CANTILEVER  
SCALE: 3/4" = 1'-0"

006000363



© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

DATE	11.7.93
BY	J.P.
CHECKED	J.P.
DATE	11.7.93
PROJECT	EAST VILLAGE RESTROOMS
DATE	DECEMBER 1993
SCALE	3/4"=1'-0"
REVISED	01
SHEET	D-6
OF	24 SHEETS

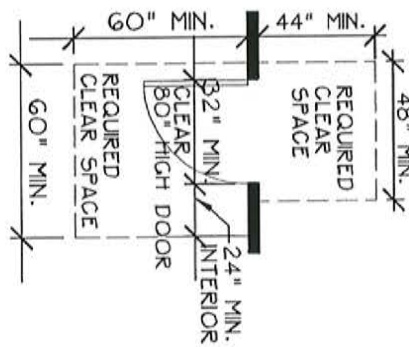
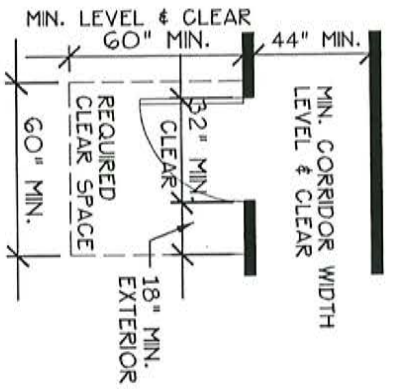
PROPOSED RESTROOMS FOR:  
**EAST VILLAGE**  
 CAMBRIA CHAMBER OF COMMERCE  
 CENTER & WEST STREET



gary michael swauger architect  
 and associates  
 2400 main suite 0 cambria california 808 927-3967

REVISIONS:	BY





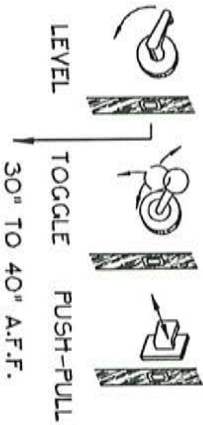
**DETAIL 1**  
CORRIDORS

NOTE:  
WHERE DOORS OPEN ONTO, BUT NOT INTO CORRIDOR, THE REQUIRED LEVEL FLOOR BEYOND THE DOOR MAY BE THE MIN. 44" CORRIDOR WIDTH.

**DETAIL 2**  
LEVEL FLOOR OR LANDING

NOTE:  
CLEAR SPACE MUST BE LEVEL TO PREVENT WHEEL CHAIRS FROM ROLLING. WHEN OCCUPANT RELEASES THE WHEEL GRIPS TO REACH FOR DOOR, 1/4" SLOPE PER FOOT IS ALLOWED FOR DRAINAGE

**DETAIL 3**  
LATCHING DOORS



**A HANDICAP DOOR REQUIREMENTS**

**A**

**DOOR REQUIREMENTS**

T-24-2-3301(f), 2-3304(c,e,h,j), 2-3305(k), ADA 4.13

1. **DOOR WIDTHS & HEIGHTS**  
ALL DOORS REQUIRED FOR HANDICAP ACCESS SHALL COMPLY WITH DETAILS 1 & 2.
2. **CONSTRUCTION**  
THE BOTTOM 10 INCHES OF ALL SWINGING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
3. **HARDWARE**  
HAND ACTIVATED DOOR OPENING HARDWARE IS REQUIRED TO BE CENTERED BETWEEN 30 AND 44 INCHES HIGH. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL HAVE TO BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, BY PANIC BARS, PUSH-PULL ACTUATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS ARE REQUIRED TO OPERATE AS DESCRIBED ABOVE IN THE DIRECTION OF EGRESS.
4. **CLOSERS**  
THE MAXIMUM EFFORT TO OPERATE DOORS CANNOT EXCEED 8.5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS. REQUIRED FIRE DOORS MAY REQUIRE UP TO 15 POUNDS PRESSURE. THE PRESSURE IS TO BE MEASURED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE REQUIREMENTS.
5. **THRESHOLDS**  
THRESHOLDS ARE REQUIRED TO BE NO MORE THAN 1/2 INCH HIGH. BEVEL OR SLOPE THE EXPOSED EDGE AT AN ANGLE NOT EXCEEDING 45 DEGREES SO THAT NO SINGLE VERTICAL CHANGE OF ELEVATION EXCEEDS 1/4 INCH.
6. **HOTEL AND MOTEL UNITS**  
WHEN BOLT AND UNLATCHING OPERATION IS KEY OPERATED FROM THE CORRIDOR OR EXTERIOR SIDE OF THE UNIT DOOR, LARGE BOW KEYS (2 INCHES FULL BOW OR 1-1/4 INCH HALF BOW) ARE REQUIRED TO BE PROVIDED IN LIEU OF LEVER TYPE HARDWARE ON THE CORRIDOR SIDE. SEPARATE DEAD LOCK ACTIVATION ON ROOM SIDE OF CORRIDORS IN HOTELS AND MOTELS IS ACCEPTABLE, BUT DEAD LOCKS ARE REQUIRED TO HAVE A LEVER HANDLE OR A LARGE THUMB-TURN IN AN EASILY REACHED LOCATION.

NO SCALE

REVISIONS	BY

PROPOSED RESTROOMS FOR:

**EAST VILLAGE**

CAMBRIA CHAMBER OF COMMERCE  
CENTER & WEST STREET

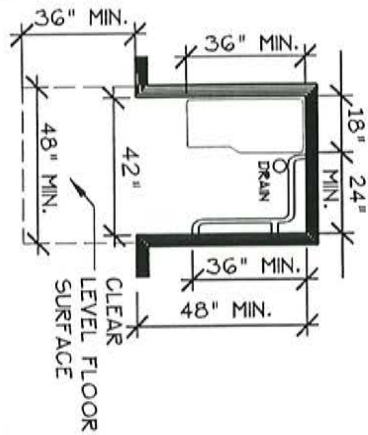
gary michael swauger architect  
and associate

2460 main suite o cambria oastoria 906 927-0087

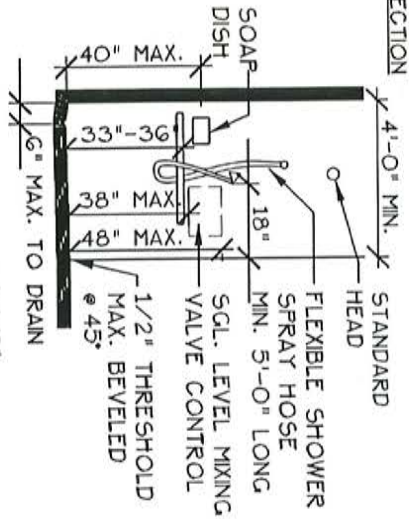
DATE	1/17
BY	G.M.S.
NO. SCALE	NO SCALE
DATE	4/25/96.01
NO. SCALE	16
DATE	OF 24 SHEETS



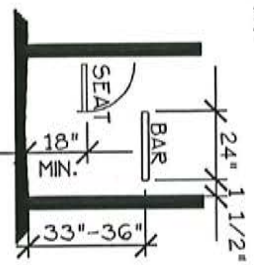
DETAIL 1  
PLAN



DETAIL 2  
SECTION



DETAIL 3  
SECTION



**B** BATHING FACILITIES

**BATHING FACILITIES**

T-24-2-511, 2-1213, ADA 4.20, 4.21, 4.23

1. WHERE BATHING FACILITIES ARE PROVIDED FOR THE PUBLIC, CLIENTS, OR EMPLOYEES, INCLUDING SHOWERS, BATHTUBS, OR LOCKERS, AT LEAST ONE SUCH FACILITY, AND NOT LESS THAN ONE PERCENT OF ALL FACILITIES, SHALL COMPLY WITH DETAILS 1 THROUGH 6.

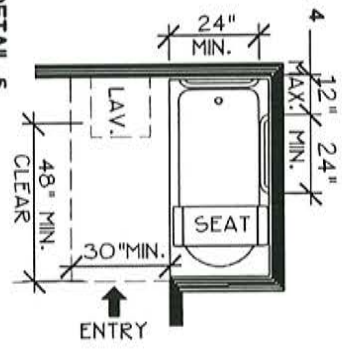
**2. SHOWER COMPARTMENTS**

COMPARTMENTS SHALL COMPLY WITH DETAILS 1-3 AND HAVE AN ENTRANCE OPENING OF 36 INCHES. SLOPE THE SHOWER FLOOR TOWARD THE REAR TO A DRAIN LOCATED WITHIN 6 INCHES OF THE REAR WALL. THE MAXIMUM ALLOWABLE SLOPE OF THE FLOOR IS 1/2 INCH PER FOOT IN ANY DIRECTION. THE FLOOR SURFACE IS REQUIRED TO BE OF CARBORUNDUM OR GRIT-FACED TILE OR A MATERIAL PROVING EQUIVALENT SLIP-RESISTANCE. WHEN A THRESHOLD OR RECESSED DROP IS USED, IT CAN BE A MAXIMUM 1/2" HIGH AND IS REQUIRED TO BE BEVELED OR SLOPED AT AN ANGLE NOT TO EXCEED 45 DEGREES. WHEN PROVIDED, ENCLOSURES CAN NOT OBSTRUCT TRANSFER FROM WHEELCHAIRS ONTO SHOWER SEATS.

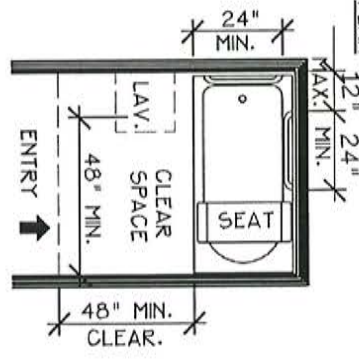
**3. BATHTUBS**

WHEN BATHTUBS ARE PROVIDED THEY SHALL COMPLY WITH DETAILS 4-6 AND WILL BE EQUIPPED WITH A SHOWER SPRAY UNIT HAVING A HOSE AT LEAST 60 INCHES LONG THAT CAN BE USED AS A SHOWER. ENCLOSURES ON BATHTUBS ARE NOT ALLOWED TO HAVE TRACKS MOUNTED ON THEIR RIMS. PROVIDE A MINIMUM UNOBSTRUCTED TURNING SPACE, AS SHOWN IN DETAILS 4 & 5, MAY INCLUDE THE MANEUVERING AREA UNDER THE LAVATORY.

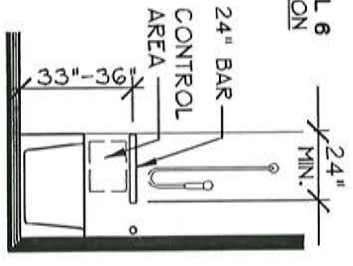
DETAIL 4  
PLAN



DETAIL 5  
PLAN



DETAIL 6  
SECTION



NO SCALE

© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

REVISIONS	BY

PROPOSED RESTROOMS FOR:

**EAST VILLAGE**

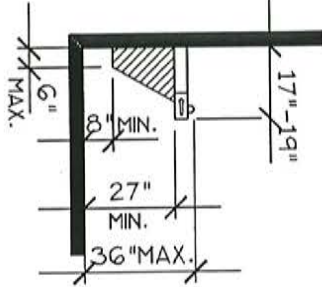
CAMBRIA CHAMBER OF COMMERCE  
CENTER & WEST STREET

gary michael swauger architect  
and associates

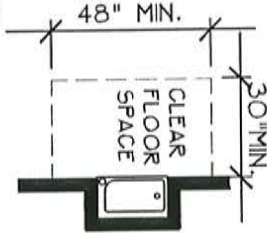
2400 main suite 0 cambria oastorra 800 927-3007

DATE	1/1/93
BY	G.M.S.
CHECKED	G.M.S.
DATE	DECEMBER, 1993
NO. SCALE	NO SCALE
PROJECT NO.	93256.01
SHEET NO.	17
TOTAL SHEETS	24

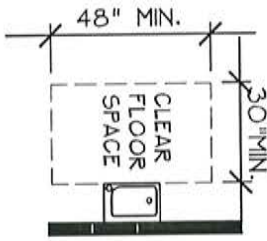
**DETAIL 1**  
SPOUT HEIGHT &  
KNEE CLEARANCE



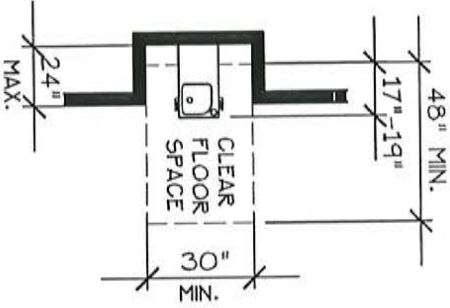
**DETAIL 3**  
BUILT-IN  
FOUNTAIN



**DETAIL 4**  
FREE-STANDING  
FOUNTAIN



**DETAIL 2**  
CLEAR FLOOR SPACE



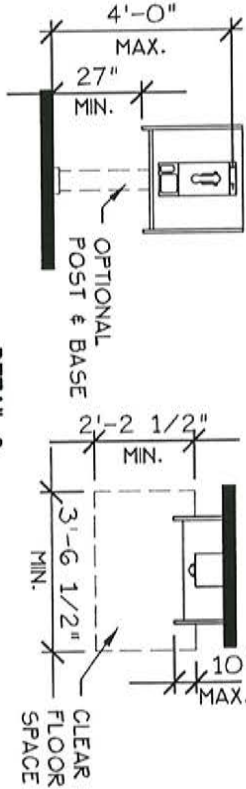
**DRINKING FOUNTAINS**

T-24-2-511(CD), ADA 4.15

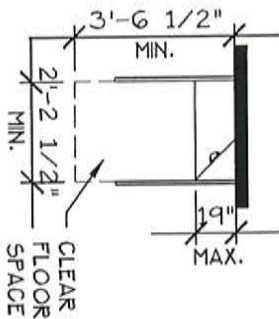
- WHERE DRINKING FOUNTAINS ARE PROVIDED, THEY SHALL COMPLY WITH DETAILS 1, 2, 3, AND 4.
- ALCOVES

WATER FOUNTAINS SHALL BE LOCATED COMPLETELY WITHIN ALCOVES OR OTHERWISE POSITIONED SO AS NOT TO ENCROACH INTO PEDESTRIAN WAYS.

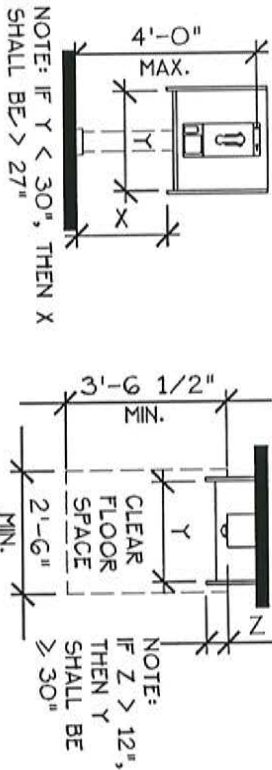
**DETAIL 1**  
SIDE REACH POSSIBLE



**DETAIL 2**  
FULL HEIGHT ENCLOSURE



**DETAIL 3**  
FORWARD REACH REQUIRED



NOTE: IF Y < 30", THEN X SHALL BE > 27"

NOTE: IF Z > 12", THEN Y SHALL BE > 30"

**DRINKING FOUNTAINS**

NO SCALE

**TELEPHONE HEIGHTS & CLEARANCES**

T-24-2-511(CD), ADA 4.31

NO SCALE

© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

NO.	DATE	REVISIONS	BY



**gary michael swauger architect**  
and associates

2480 main suite 0 cambria california 805 927-3967

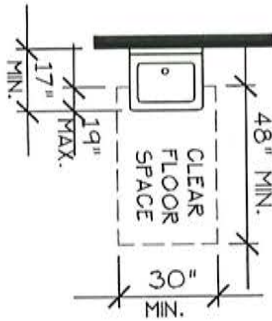
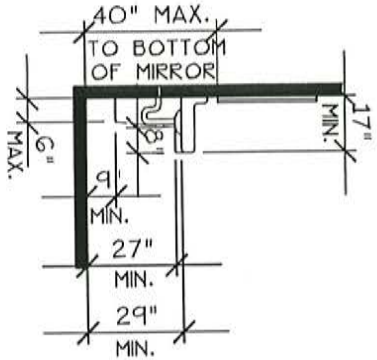
PROPOSED RESTROOMS FOR:  
**EAST VILLAGE**  
CAMBRIA CHAMBER OF COMMERCE  
CENTER & WEST STREET

HDR:KRC

DATE	1/17/03
BY	J.M.S.
CHECKED	G.M.S.
DATE	DECEMBER 1993
NO. SCALE	AS SHOWN
NO. SHEETS	18
OF	24



**DETAIL 4  
LAVATORIES**



**SANITARY FACILITIES (CONT)**

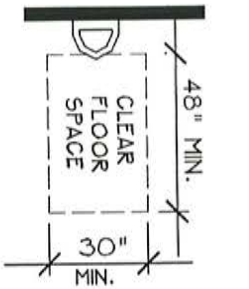
- 5. URINALS  
STALL-TYPE OR WALL HUNG URINALS SHALL COMPLY WITH DETAIL 4. FLUSH CONTROLS ARE TO BE HAND OPERATED, ARE TO MEET THE SAME REQUIREMENTS AS THE FLUSH CONTROLS FOR THE WATER CLOSET.

- 6. LAVATORY  
LAVATORY HEIGHTS AND CLEARANCES SHALL COMPLY WITH DETAIL 4. INSULATE OR COVER HOT WATER AND DRAIN PIPES UNDER LAVATORIES. NO SHARP OR ABRASIVE SURFACES ARE ALLOWED UNDER LAVATORIES.

FAUCET CONTROLS AND OPERATING MECHANISMS ARE REQUIRED TO BE OPERABLE WITH ONE HAND AND CAN NOT REQUIRE GRASPING, FINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS IS NOT TO EXCEED 5 LB. LEVER-OPERATED, PUSH-TYPE, AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

- 7. ACCESSORIES  
WHERE TOWEL, SANITARY NAPKIN, AND WASTE RECEPTACLES AND SIMILAR DISPENSING AND DISPOSAL FIXTURES ARE PROVIDED, AT LEAST ONE OF EACH TYPE IS TO BE LOCATED WITH ALL OPERABLE PARTS, INCLUDING COIN SLOTS, WITHIN 40 INCHES FROM THE FLOOR.

**DETAIL 5  
URINALS**



**SANITARY FACILITIES**

NO SCALE

**E**

DATE	19
BY	
REVISIONS	
BT	

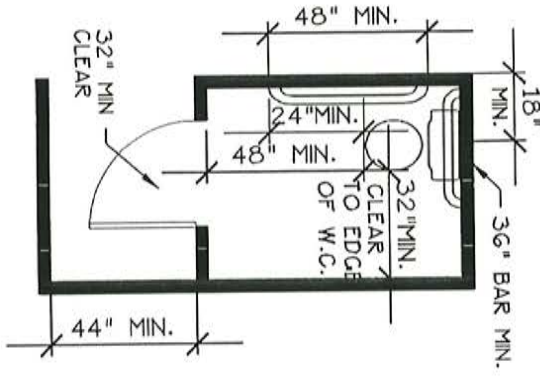
PROPOSED RESTROOMS FOR  
**EAST VILLAGE**  
 CAMBRIA CHAMBER OF COMMERCE  
 CENTER & WEST STREET



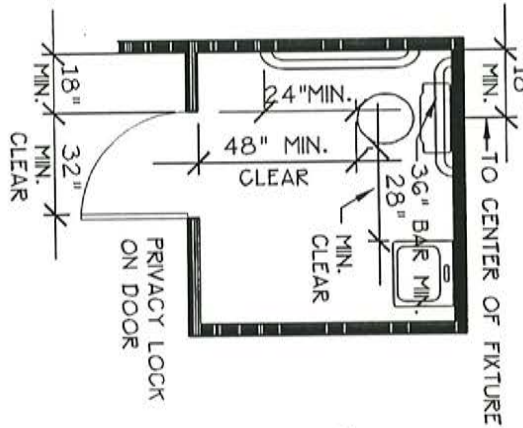
**gary michael swauger architect**  
 and associates  
 2460 main suite o cambria california 805 927-3067

DATE	19
BY	
REVISIONS	
BT	

**DETAIL 1**  
TOILET STALL



**DETAIL 2**  
PRIVACY TOILET

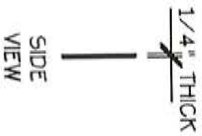
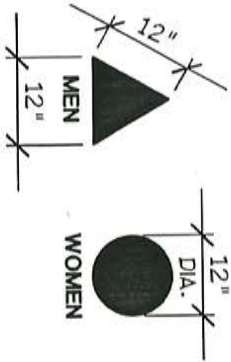


**SANITARY FACILITIES**

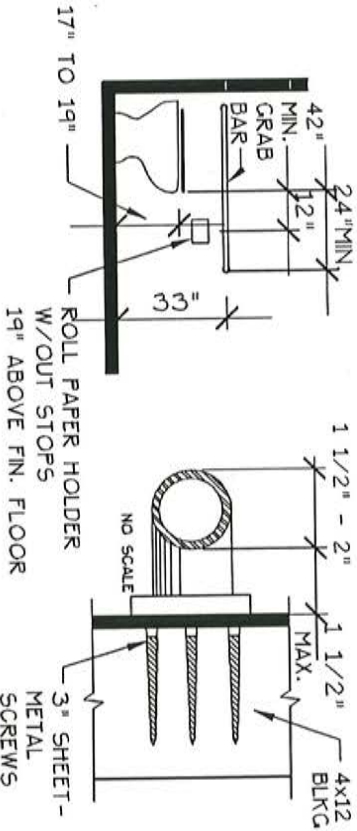
T-24-2-511, ADA 4.16-4.19, 4.22, 4.24

1. PROVIDE SUFFICIENT SPACE IN THE BATHROOM FOR A WHEELCHAIR MEASURING 30" WIDE x 48" LONG TO ENTER THE ROOM AND PERMIT THE DOOR TO CLOSE. THE WATER CLOSET SHALL BE LOCATED IN A SPACE WHICH PROVIDES A 28" WIDE CLEAR SPACE FROM A FIXTURE OR A 32" WIDE CLEAR SPACE FROM A WALL AT ONE SIDE AND 48" OF CLEAR SPACE IN FRONT OF THE WATER CLOSET.
2. DOORS  
SANITARY FACILITY DOORS SHALL COMPLY WITH DETAILS 1 & 2, AND SHALL HAVE AN AUTOMATIC CLOSING DEVICE.
3. DOOR SIGNAGE  
DOORWAYS LEADING TO SANITARY FACILITIES SHALL BE AS PER DETAIL 3. SYMBOLS ARE TO BE CENTERED ON THE DOOR AT A HEIGHT OF 60" FROM FINISH FLOOR. SYMBOL COLORS ARE TO BE DISTINCTLY DIFFERENT FROM DOOR COLOR.
4. GRAB BARS  
GRAB BARS SHALL BE AS PER DETAIL 6 AND SHALL BE CAPABLE OF CARRYING 250 LBS PER FT.

**DETAIL 3**  
DOOR SIGNAGE  
NO SCALE



**DETAIL 6**  
GRAB BARS



© COPYRIGHT 1993 GARY MICHAEL SWAUDER, ARCHITECT

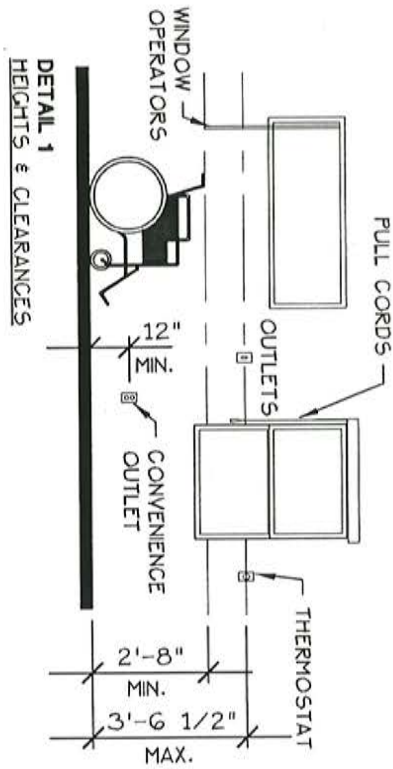
DATE	J.P.
DESIGNED	C.M.S.
DATE	DECEMBER 1993
NO. SCALE	NO SCALE
DATE	93256.01
SHEETS	20
OF	24

PROPOSED RESTROOMS FOR:  
**EAST VILLAGE**  
CAMBRIA CHAMBER OF COMMERCE  
CENTER & WEST STREET

**gary michael swauger architect**  
and associate  
2400 main suite 0 cambria california 905 927-9997

REVISIONS	BY

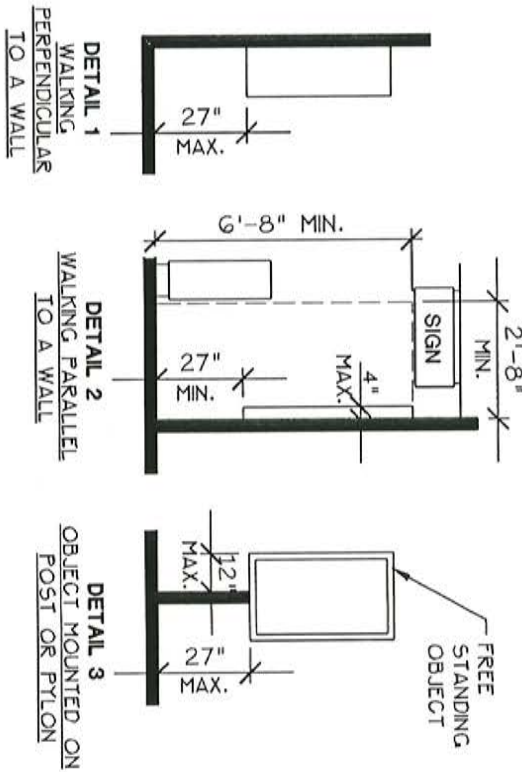




**CONTROLS, SWITCHES & OUTLETS**

T-24-3-210-50(c), 3-380-8(c), 3-760-8.1, ADA 4.27

1. MANUALLY OPERATED SWITCHES AND CONTROLS FOR LIGHTS, POWER, HEAT, VENTILATION, WINDOWS, DRAPERIES, DOORS, AND SIMILAR CONTROLS OF FREQUENT AND ESSENTIAL USE ARE TO BE CENTERED BETWEEN 36 INCHES AND 48 INCHES FROM THE FLOOR.
2. ELECTRICAL CONVENIENCE WALL OUTLETS ARE TO BE CENTERED A MINIMUM 12 INCHES FROM THE FLOOR. ELECTRICAL CONVENIENCE FLOOR OUTLETS AND BASEBOARD ELECTRICAL OUTLETS USED IN RELOCATABLE PARTITIONS OR WINDOW WALLS ARE NOT SUBJECT TO THE MINIMUM HEIGHT REQUIREMENTS.



**PROTRUDING OBJECTS**

T-24-2-522(F), ADA 4.4

1. OBJECTS WITH THEIR LEADING EDGES BETWEEN 27 INCHES AND 80 INCHES FROM THE FLOOR CAN NOT PROTRUDE MORE THAN 4 INCHES INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS, OR AISLES. OBJECTS WITH THEIR LEADING EDGES WITHIN 27 INCHES OF THE FLOOR MAY PROTRUDE AND DISTANCE, BUT MAY NOT REDUCE THE REQUIRED CLEAR SPACE OR MANEUVERING SPACE FOR A WHEELCHAIR.
2. HEADROOM  
80 INCHES CLEAR IS REQUIRED FOR HEAD ROOM IN WALKS, HALLS, CORRIDORS, PASSAGEWAYS, AISLES, AND OTHER CIRCULATION SPACES.

**PROTRUDING OBJECTS**

NO SCALE

**CONTROLS, SWITCHES & OUTLETS**

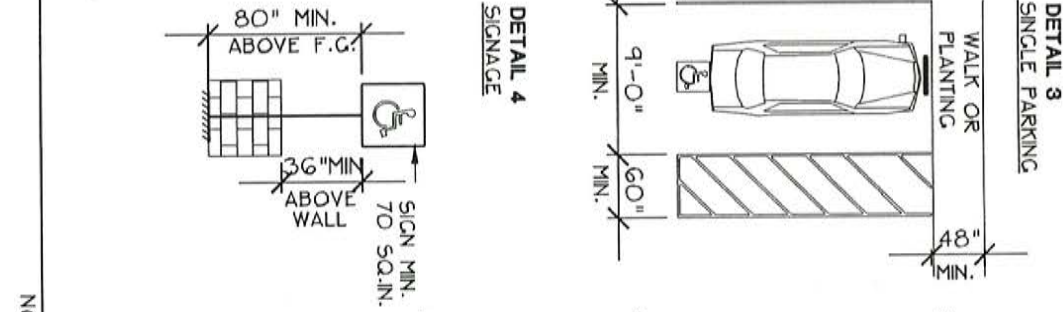
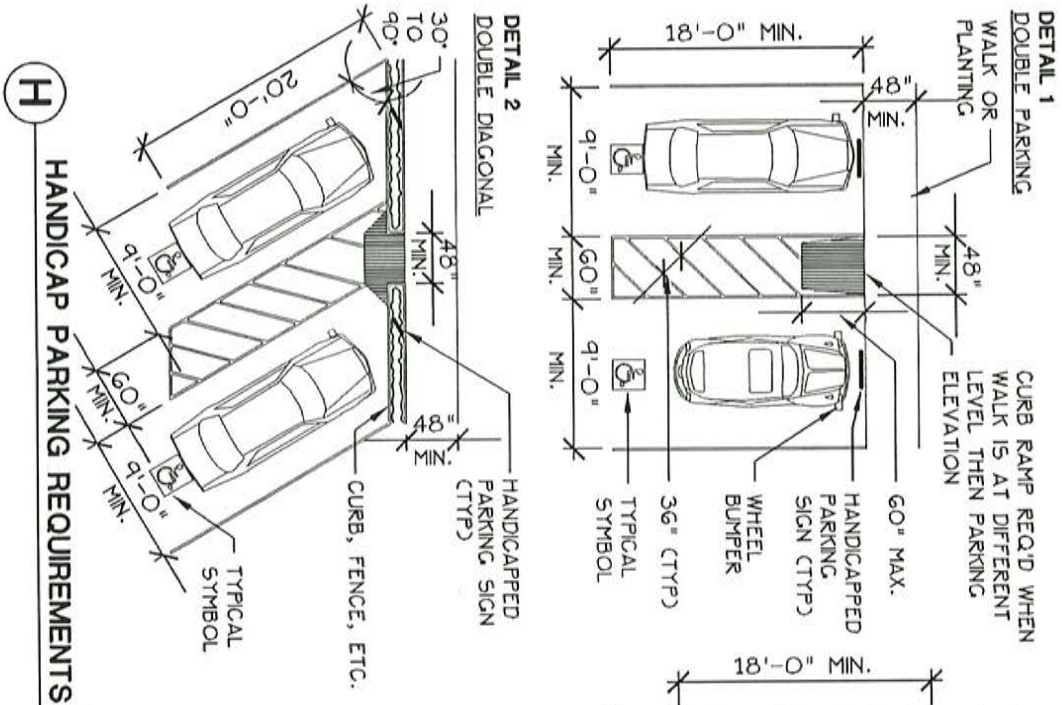
NO SCALE

REVISIONS	BY

PROPOSED RESTROOMS FOR:  
**EAST VILLAGE**  
 CAMBRIA CHAMBER OF COMMERCE  
 CENTER & WEST STREET

**gary michael swauger architect**  
 and associates  
 2400 main suite 0 cambria oaklahoma 800 927-3967

DATE	1993
BY	J.P.S.
SCALE	AS SHOWN
NO. SHEETS	21
TOTAL SHEETS	24



- PARKING REQUIREMENTS**  
T-24-2-7102, ADA 4.6
- PARKING**  
ALL HANDICAPPED PARKING SPACES SHALL COMPLY WITH DETAILS 1, 2, & 3.  
a) HANDICAPPED SPACE MUST PERMIT USE OF EITHER OF CAR DOORS.  
b) BUMPER REQUIRED WHEN NO CURB ON BARRIER IS PROVIDED WHICH WILL PREVENT ENCRoACHMENT OF CARS OVER WALKWAYS.  
a) WHEEL CHAIR USERS MUST NOT BE FORCED TO GO BEHIND PARKED CARS OTHER THAN THEIR OWN.
  - SIGNAGE**  
EACH PARKING SPACE RESERVED FOR THE HANDICAPPED SHALL COMPLY WITH DETAIL 4 & 24 CAC, SEC. 2-7102(c).
  - SURFACE & SPATIAL REQUIREMENTS**  
SURFACE SLOPES OF PARKING SPACES FOR THE PHYSICALLY HANDICAPPED SHALL BE THE MINIMUM POSSIBLE AND SHALL NOT EXCEED 1/4 INCH PER FOOT (2.083% GRADIENT) IN ANY DIRECTION.  
ENTRANCES TO AND VERTICAL CLEARANCES WITHIN PARKING STRUCTURES SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 8'-2" WHERE REQUIRED FOR ACCESSIBILITY TO HANDICAPPED PARKING.

NO SCALE

© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

DATE	22
BY	22
NO. SCALE	NO SCALE
DATE	93256.01
NO. SCALE	NO SCALE
DATE	93256.01
NO. SCALE	NO SCALE
DATE	93256.01
NO. SCALE	NO SCALE
DATE	93256.01
NO. SCALE	NO SCALE

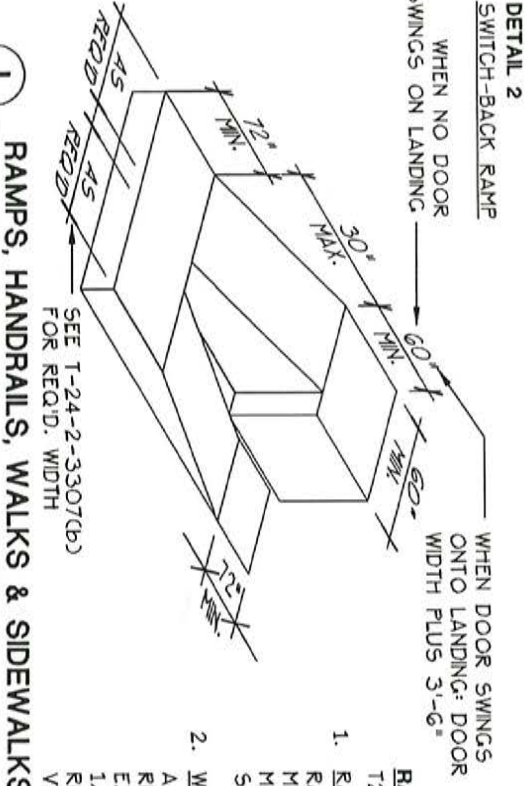
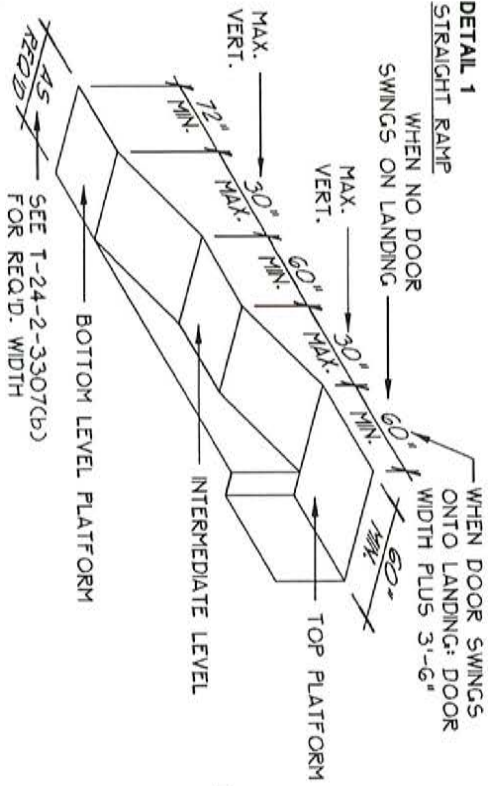
PROPOSED RESTROOMS FOR:  
**EAST VILLAGE**  
CAMBRIA CHAMBER OF COMMERCE  
CENTER & WEST STREET

**gary michael swauger architect**  
and associates  
2460 main suite o cambria ca 93704 805 527-3067

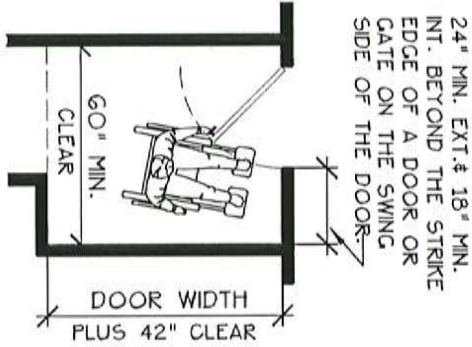
REVISIONS	BY



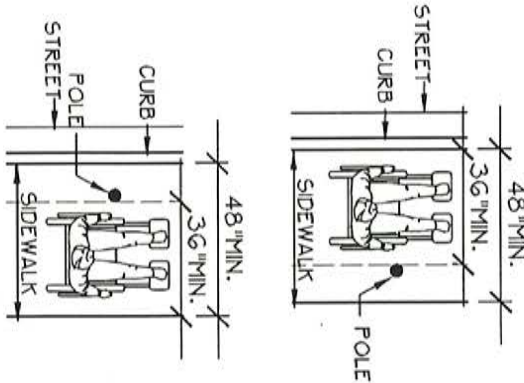
**DETAIL 1  
STRAIGHT RAMP**



**DETAIL 4  
RAMP LANDING AT DOORWAY**



**DETAIL 5  
WALKS & SIDEWALKS**



**RAMP, WALKS & SIDEWALKS**

T24-2-3307, 2-3325, & ADA-4.8

**1. RAMP**

RAMP PROVISIONS APPLY IF SLOPE IS OVER 1:20. MAXIMUM SLOPE IF HANDRAILS PROVIDED = 1:12. MAXIMUM SLOPE WITHOUT HANDRAILS = 1:15. SURFACES SHALL BE SLIP-RESISTANT.

**2. WALKS AND SIDEWALKS**

A MINIMUM OF 48" IS REQUIRED. ALL SURFACES SHALL BE SLIP RESISTANT PER T-24 SECTION 2-3325(a). CROSS SLOPES CANNOT EXCEED 1/4" PER FOOT. ABRUPT CHANGES IN LEVEL EXCEEDING 1/2" ARE NOT ALLOWED. CHANGES IN LEVEL TO 1/2" HIGH ARE REQUIRED TO BE BEVELED WITH A SLOPE NO GREATER THAN 1 VERTICAL TO 2 HORIZONTAL.

**1. RAMP, HANDRAILS, WALKS & SIDEWALKS**

NO SCALE

© COPYRIGHT 1993 GARY MICHAEL SWAUGER, ARCHITECT

REVISIONS	BY

PROPOSED RESTROOMS FOR:

**EAST VILLAGE**

CAMBRIA CHAMBER OF COMMERCE  
CENTER & WEST STREET

**gary michael swauger architect and associates**

2480 main suite o cambria california 913 927-3067

DATE: J.P. CHASE

DATE: 12/15/93

DATE: 12/15/93

NO SCALE

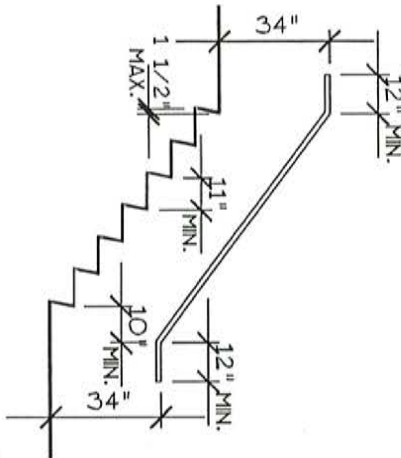
93.01

93.01

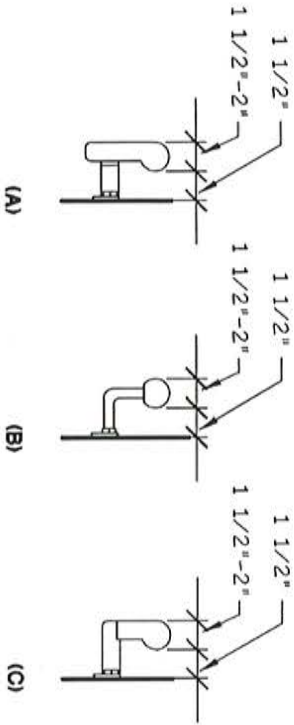
23 SHEETS



**DETAIL 1**  
STAIR HANDRAILS



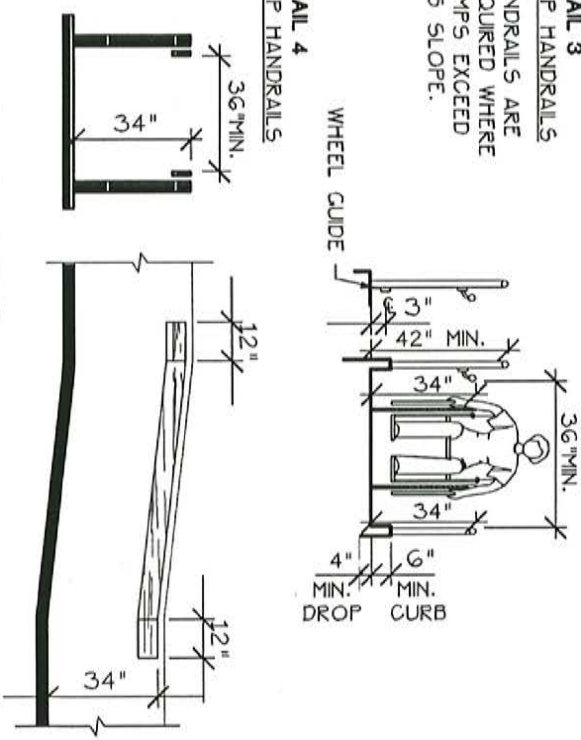
**DETAIL 2**  
STAIR & RAMP HANDRAILS  
NO SCALE



**DETAIL 3**  
RAMP HANDRAILS

HANDRAILS ARE REQUIRED WHERE RAMP SLOPES EXCEED 1:15 SLOPE.

**DETAIL 4**  
RAMP HANDRAILS



**HANDRAILS & REQUIREMENTS**  
T-24-2-3306, 2-3307, ADA 4.8, 4.26

1. STARWAY MARKING  
MARK THE UPPER APPROACH AND THE LOWER TREAD OF EACH FLIGHT OF STAIR BY A STRIP 2 INCHES WIDE. PLACE THE STRIP PARALLEL TO AND NOT MORE THAN 1 INCH FROM THE NOSE OF THE STEP OR LANDING TO ALERT THE VISUALLY IMPAIRED. THE STRIP IS REQUIRED TO BE OF MATERIALS AT AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIRS AND TO BE OF A CLEARLY CONTRASTING COLOR. A PAINTED STRIP IS ACCEPTABLE.
2. REQUIRED HANDRAILS  
STARWAYS SHALL HAVE HANDRAILS ON EACH SIDE, AND EVERY STARWAY REQUIRED TO BE MORE THAN 88 INCHES IN WIDTH SHALL BE PROVIDED WITH NOT LESS THAN ONE INTERMEDIATE HANDRAIL FOR EACH 88 INCHES OF REQUIRED WIDTH.

**J** HANDRAILS & REQUIREMENTS FOR RAMPS & STAIRWAYS  
NO SCALE

DATE	BY
12/15/93	J.M.S.
NO SCALE	
43256-01	
24	
OF 24	
SHEETS	

PROPOSED RESTROOMS FOR:

**EAST VILLAGE**  
CAMBRIA CHAMBER OF COMMERCE  
CENTER & WEST STREET

**gary michael swauger architect**  
and associates  
2480 main suite 0 cambria california 93608 927-0097

REVISIONS	BY

## Regular Business Item 5C

### Unincorporated San Luis Obispo County Tourism Business Improvement District (CBID) **TOURISM INFRASTRUCTURE/BEAUTIFICATION** Guidelines and Application

We appreciate your interest in partnering with our Local Fund Area (LFA) for support of your infrastructure and/or beautification project. We are pleased to receive your application for review, and look forward to learning more about your project, and how it supports out-of-county visitors, which is our primary mission.

A tourism infrastructure and/or beautification project is defined as a one-time project that enhances a CBID unincorporated community's cultural, environmental, recreational or historical assets that will benefit the visitor, and the resident, alike.

The Local Fund Areas (LFAs) support projects that are directly related to drawing tourists to our unincorporated CBID regions, and your project must exist within one of the following areas:

San Simeon	Los Osos/Baywood/Unincorporated Morro Bay
Cambria	Nipomo/Oceano
Cayucos	Avila Beach
Arroyo Grande Unincorporated/San Luis Obispo Unincorporated	

As a public entity, we must adhere to certain standards as we consider each request. If the LFA board chooses to support your funding application, the CBID Advisory Board will then review each application, and will provide the final approval to support or deny funding requests. Funding requests under \$4,999 will be reviewed by a sub-committee of the CBID Advisory Board consisting of the Chair, Vice-Chair and CAO, and this sub-committee has the authority to approve, deny or bring to the full CBID Advisory board for approval. All funding applications are reviewed and approved at the next available CBID Advisory Board meeting following the LFA board meeting.

Funding applications must be **submitted to LFA board a minimum of 60 days prior** to the project launch date, and a **minimum of 14 days before the LFA board meeting date**.

#### **Criteria for Application Consideration:**

- **Preservation** of historical and cultural assets
- **Enhancement** of the overall beauty and/or infrastructure of a CBID unincorporated community
- **Improvement** visible within the community
- **Usability** by the community, and by visitors to that community

All paperwork should be filled out completely prior to submission and be accompanied by supporting documents. All items below need to be included in order for your submission to be considered complete:

- All questions within the application addressed with thorough, complete answers
- Detailed budget and narrative of your project
- Project completion report must be provided once the project is concluded

**Action required by CBID LFA boards:** Included with the application submission and supporting documents provided by the requesting organization, the LFA board minutes must clearly outline why the

Regular Business Item 5C

LFA board is considering the funding request and how it directly supports tourism infrastructure and beautification.

**If you meet these criteria, please advance to the requirements and application details.**

Unincorporated San Luis Obispo County Tourism Business Improvement District (CBID)  
**Local Area Fund Infrastructure and Beautification: Application**

Project Title: \_\_\_\_\_

Completion Date: \_\_\_\_\_

Amount of funding requested: \_\_\_\_\_ Overall budget: \_\_\_\_\_

Organization Information:

Local Area: \_\_\_\_\_

Submitted by: \_\_\_\_\_ Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

Organization receiving funds: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Contact Person: \_\_\_\_\_ Phone: \_\_\_\_\_

**Please complete the following:**

Briefly describe your organization and its mission.

Provide a detailed description of the project, and what will be achieved with the LFA funding.

How will the project be beneficial to residents and visitors of the unincorporated LFA?

Describe your organizational capacity to successfully carry out the project. What parts, if any, of the project will be contracted out? List the proposed contractors.

If appropriate, provide any drawings, pictures or other visual documentation of what your project will look like.

Will your project require approval or permitting by an advisory board or public entity (ie; County or Services District)? Is so, please provide support that these requirements have been met.

As part of your application submission, please include a detailed budget (no specific budget format is required). Although the cost of insurance, salaries and equipment may be a part of the initial project (i.e. necessary to carry out the project); LFA funding **will not be used** to maintain the project or to pay for insurance, salaries, or equipment to maintain the project.

1. Provide a detailed budget with a list of any contractors and their associated costs.
2. Provide a budget narrative that:
  - a. describes each line item;
  - b. describes all sources of funding for the proposed project;
  - c. describes funding that is not yet secured and the subsequent timeline for securing such funding.



